

ROGER AND JUSTINE CASCANTE
NEW GARAGE/BARN
2290 Beverly Street, Oviedo, FL 32762

CONSTRUCTION DOCUMENTS
AHJ – SEMINOLE COUNTY

CODE CRITERIA
2020 FLORIDA BUILDING CODE, RESIDENTIAL 7TH EDITION
ANSI/NFPA 70 NATIONAL ELECTRIC CODE (NEC 2017)
BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE – (ACI 318-14)
SPECIFICATIONS FOR STRUCTURAL CONCRETE BUILDINGS – (ACI 301-14)
BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES – (TMC 402 – 2016)
NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION – (NDS 2018)
WOOD FRAMED CONSTRUCTION MANUAL 2018 EDITION
APA PLYWOOD DESIGN SPECIFICATION – LATEST EDITION
AMERICAN SOCIETY OF CIVIL ENGINEERS: ASCE/SEI 7-16

This item has been digitally signed and sealed by [Tomas Ponce PE, FL # 0050068], on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

ROGER AND JUSTINE CASCANTE
NEW
KITCHEN PAVILION AND GARAGE
2290 Beverly Street, Oviedo, FL 32762



LOCATER MAP

MAP COURTESY OF GOOGLE

NO SCALE



AERIAL

NO SCALE

DRAWING INDEX – FINAL – GARAGE/ BARN, ONLY

PERMIT # TBD

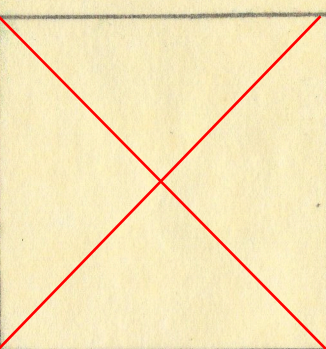
CASCANTE KITCHEN PAVILION AND GARAGE/BARN

NOTE! PAVILION SUBMITTED PREVIOUSLY - #BP22-00000534

SHT	SHT NO	NAME
1	A0.0	COVER; SITE
2	ST.01	ARCHITECTURAL SITE PLAN
3	SUR 1.1	SURVEY
4	CL.1	CIVIL SITE
5	AL.1	ARCHITECTURAL SPECS
6	A2.1	FIRST FLOOR PLAN - PAVILION
7	A2.2	BARN FIRST FLOOR PLAN
8	A2.3	BARN SECOND FLOOR PLAN
9	A3.1	PAVILION REFLECTED CEILING PLAN
10	A3.2	BARN 1 ST & 2 ND REFLECTED CEILING PLANS
11	A4.1	PAVILION ROOF PLAN
12	A4.2	BARN ROOF PLAN
13	A6.1	PAVILION ELEVATIONS - N & E
14	A6.2	PAVILION ELEVATIONS - S & W
15	A6.3	BARN ELEVATION - EAST
16	A6.4	BARN ELEVATIONS - SOUTH, WEST & NORTH
17	A7.1	PAVILION BUILDING & WALL SECTION
18	A7.2	BARN BUILDING SECTION & WALL SECTIONS
19	A8.1	BARN ROOF & WALL DETAILS
20	A9.1	DOOR & WINDOW SCHEDULES & DETAILS
21	A9.2	MISCELLANEOUS DETAILS (INCL FIRE PFT)
22	S.1	GENERAL NOTES 1
23	S.2	PAVILION FOUNDATION PLAN
24	S.3	BARN FOUNDATION PLAN
25	S.4	PAVILION ROOF FRAMING PLAN
26	S.5	BARN SECOND FLOOR FRAMING PLAN
27	S.6	BARN ROOF FRAMING PLAN
28	S.7	STRUCTURAL DETAILS
29	S.8	STRUCTURAL DETAILS
30	S.9	WIND DATA AND DETAILS
MECHANICAL		
NOT REQUIRED - BARN IS NATURALLY VENTILATED		
ELECTRICAL		
31	E.1	SITE ELECTRICAL
32	E.2	PAVILION ELECTRICAL
33	E.3	BARN 1 ST & 2 ND FLOOR ELECTRICAL
34	E.4	RESIDENTIAL ELECTRICAL LOAD CALC
PLUMBING		
35	P.1	PAVILION PLUMBING PLAN (Sanitary, only) & ISO

MZa Proj. # 2021.003

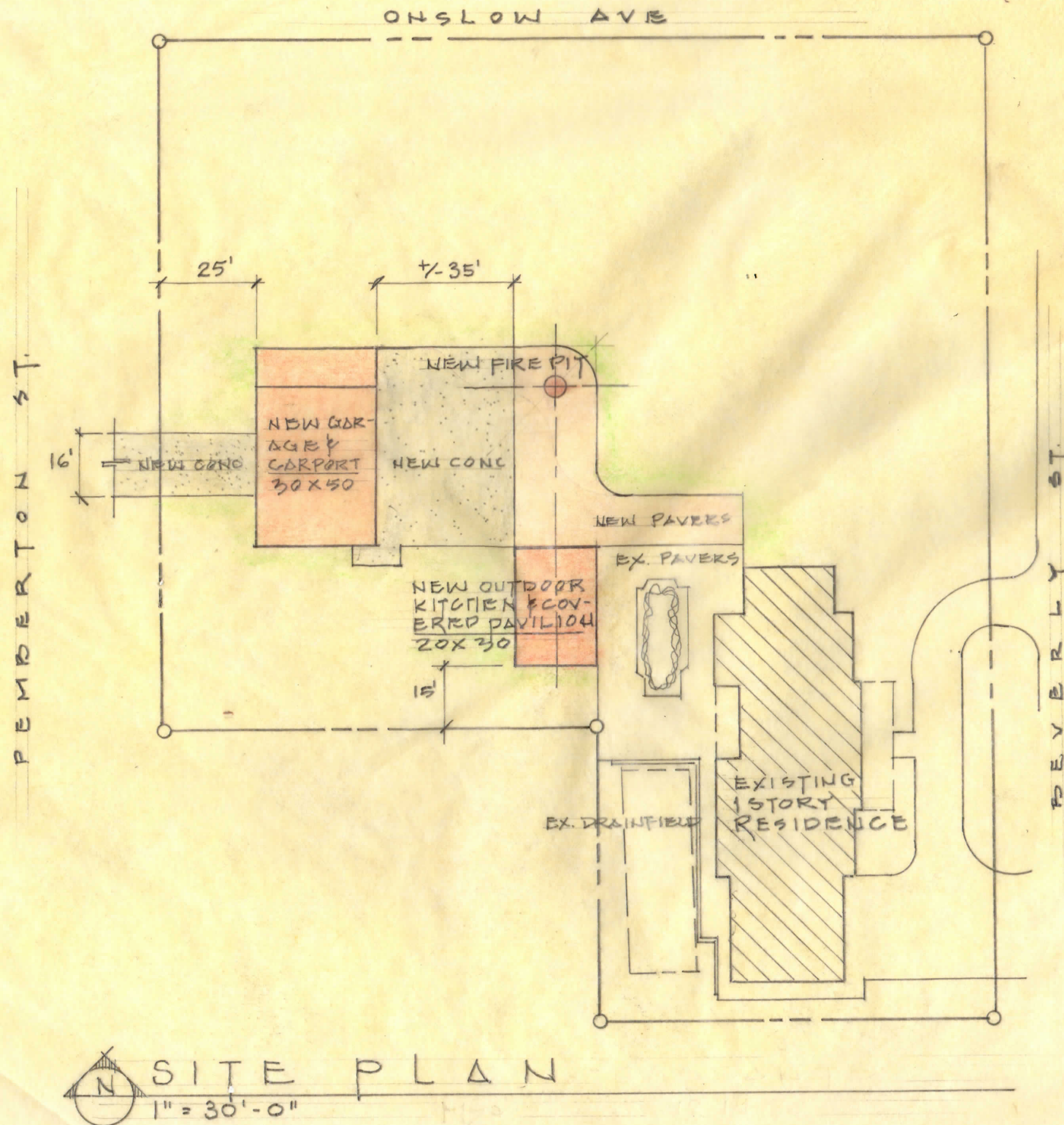
PROJECT SCOPE – THIS PROJECT CONSISTS OF THE DESIGN AND CONSTRUCTION OF TWO BUILDINGS: AN OUTDOOR KITCHEN PAVILION AT APPROXIMATELY 600SF AND A TWO CAR GARAGE, AT APPROXIMATELY 1500SF. THE DRAWING NAMES WILL REFER TO THE TWO AS "PAVILION" AND "BARN." THE PAVILION WILL BE A SLAB ON GRADE WITH A ROOF SUPPORTED BY SIX FIBERGLASS LOAD-BEARING COLUMNS ON MASONRY BASES. THE ROUGH SAWN TIMBER FRAMING FOR THE ROOF WILL BE EXPOSED, UNDERNEATH. SPACE FOR AN OUTDOOR KITCHEN UNIT WILL BE PROVIDED, AS WELL AS A FULL BATHROOM WITH SANITARY DRAINAGE TO THE EXISTING RESIDENCE'S SEPTIC AND DRAINFIELD. THE BARN WILL BE A SLAB ON GRADE, CMU WALLS WITH FURRING AND BOARD-&-BATTEN HARDY BOARD. THE MAIN ENCLOSED BUILDING IS 30'X40' WITH A 10' ATTACHED COVERED "SHED." ACCESS TO THE SPACE ABOVE THE GARAGE WILL BE BY AN INTERNAL STAIRWAY FOR STORAGE OF PERSONAL BELONGINGS. AN OUTDOOR FIRE PIT AND MISCELLANEOUS PAVEMENT, SOME WITH PATIO PAVERS, IS ALSO INCLUDED.



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FINAL
NOVEMBER 5, 2021
MZa Proj. # 2021.003

COVER; SITE LOCATION
A0.0
1 OF 22

REV 0.27.22

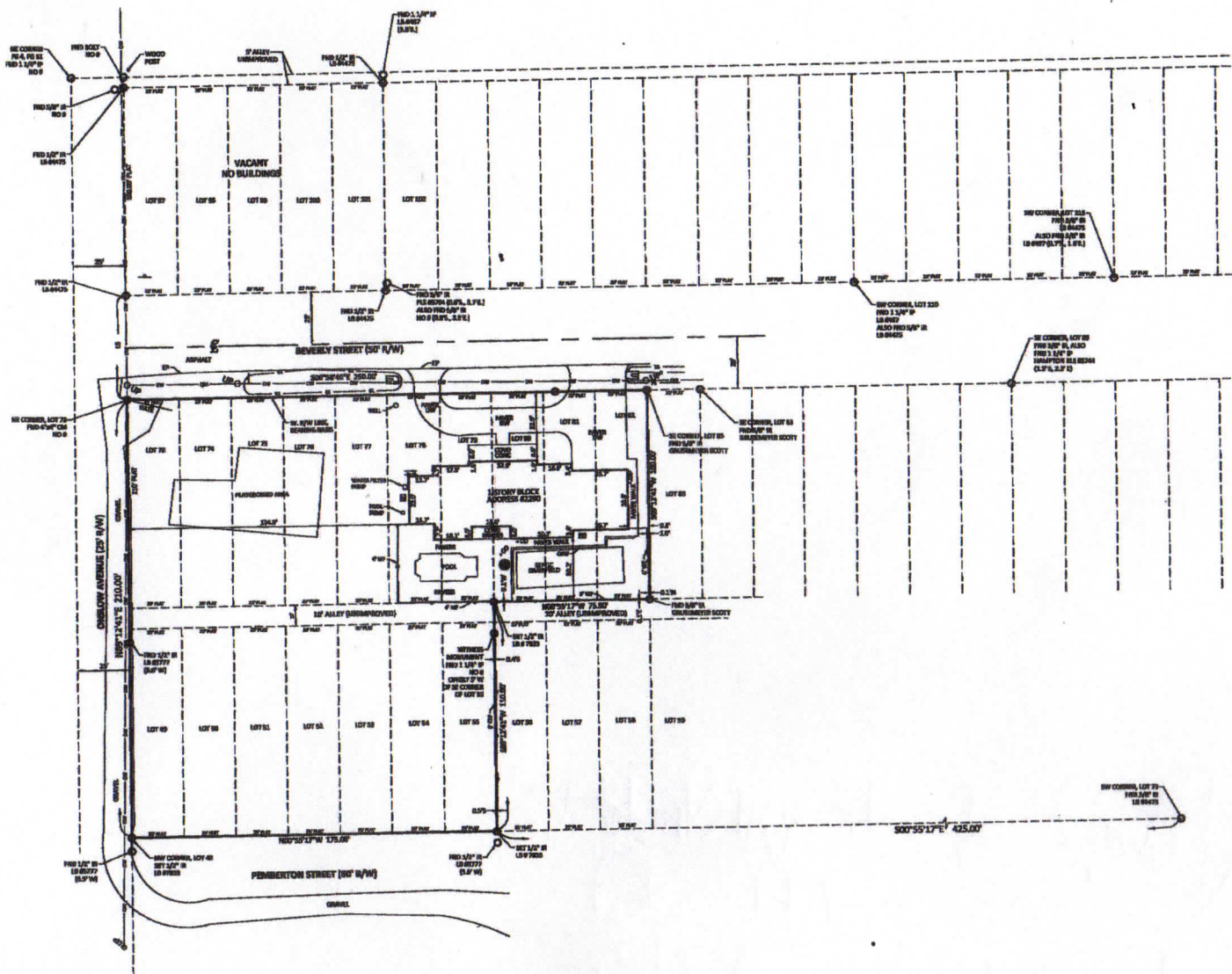


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SITE
ST0.1



SITE

[illegible]

LOTS 49 THROUGH 55 AND LOTS 73 THROUGH 82 TOGETHER WITH THAT PORTION OF THE 10 FOOT ALLEY WAY LYING BETWEEN LOTS 49 THROUGH 55 AND LOTS 73 THROUGH 79, KEW GARDENS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLATBOOK 4, PAGE 51, PUBLIC RECORDS OF SEMINOLE COUNTY, FLORIDA.

1. BEARING STRUCTURE BASED ON THE MONUMENTED WEST R/W LINE OF BEVERLY STREET, BEING: S00°58'40"E (ASSUMED).
2. THIS SURVEY REFLECTS ONLY MATTERS OF RECORD AS PROVIDED BY THE CLIENT OR CLIENTS REPRESENTATIVE.
3. THIS SURVEY WAS MADE ON THE GROUND. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ENGINEER AND CONTRACTOR SHALL VERIFY MEASUREMENTS OF CONNECTIONS TO EXISTING UTILITIES BEFORE ORDERING MATERIALS AND BEFORE COMMENCEMENT OF CONSTRUCTION. IF THERE IS A DISCREPANCY BETWEEN THE MEASUREMENTS SHOWN HEREON AND THE VERIFYING MEASUREMENTS, THIS SURVEYOR SHALL BE CONTACTED IMMEDIATELY TO FURTHER VERIFY THE DISCREPANCY.
4. THIS SITE LIES IN ZONE "X", BASED ON FLOOD INSURANCE RATE MAP NO. 22137.0103F, COMMUNITY NO. 120289, SEMINOLE COUNTY, FLORIDA AND HAVING AN EFFECTIVE DATE OF SEPTEMBER 28, 2007.
5. ACCORDING TO FLORIDA STATUTES, CHAPTER 472.025, A LAND SURVEYOR SHALL NOT AFFIX HIS SEAL OR NAME TO ANY PLAN OR DRAWING WHICH DEPCTS WORK WHICH HE IS NOT LICENCED TO PERFORM OR WHICH IS BEYOND HIS PROFESSION OR SPECIALTY THEREIN. THEREFORE, WE ARE UNABLE TO CERTIFY AS TO MUNICIPAL ZONING COMPLIANCE, INTERPRETATION OF ZONING CODES OR THE DETERMINATION OF VIOLATIONS THEREOF.
6. THIS SURVEY MADE WITHOUT BENEFIT OF COMMITMENT FOR TITLE OR SEARCH OF PUBLIC RECORDS FOR EASEMENTS AND/OR ENCUMBRANCES THAT MAY AFFECT THIS SUBJECT PROPERTY.

**Prepared for: ROGER F. &
JUSTINE C. CASCANTE**



This Survey is "Not Valid" without the signature and the original raised seal of this Florida License Surveyor and Mapper, unless provided with electronic signature with the ability to validate. (See www.altamassurveying.com for instructions on signature validation). The seal appearing on this document was authorized by the signing Professional Surveyor and Mapper on the Date of the electronic signature.

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 3630001793
 Date: 2009.08.11 13:00:00
James D. Bray PSM 6507

SHEET 1 OF 1

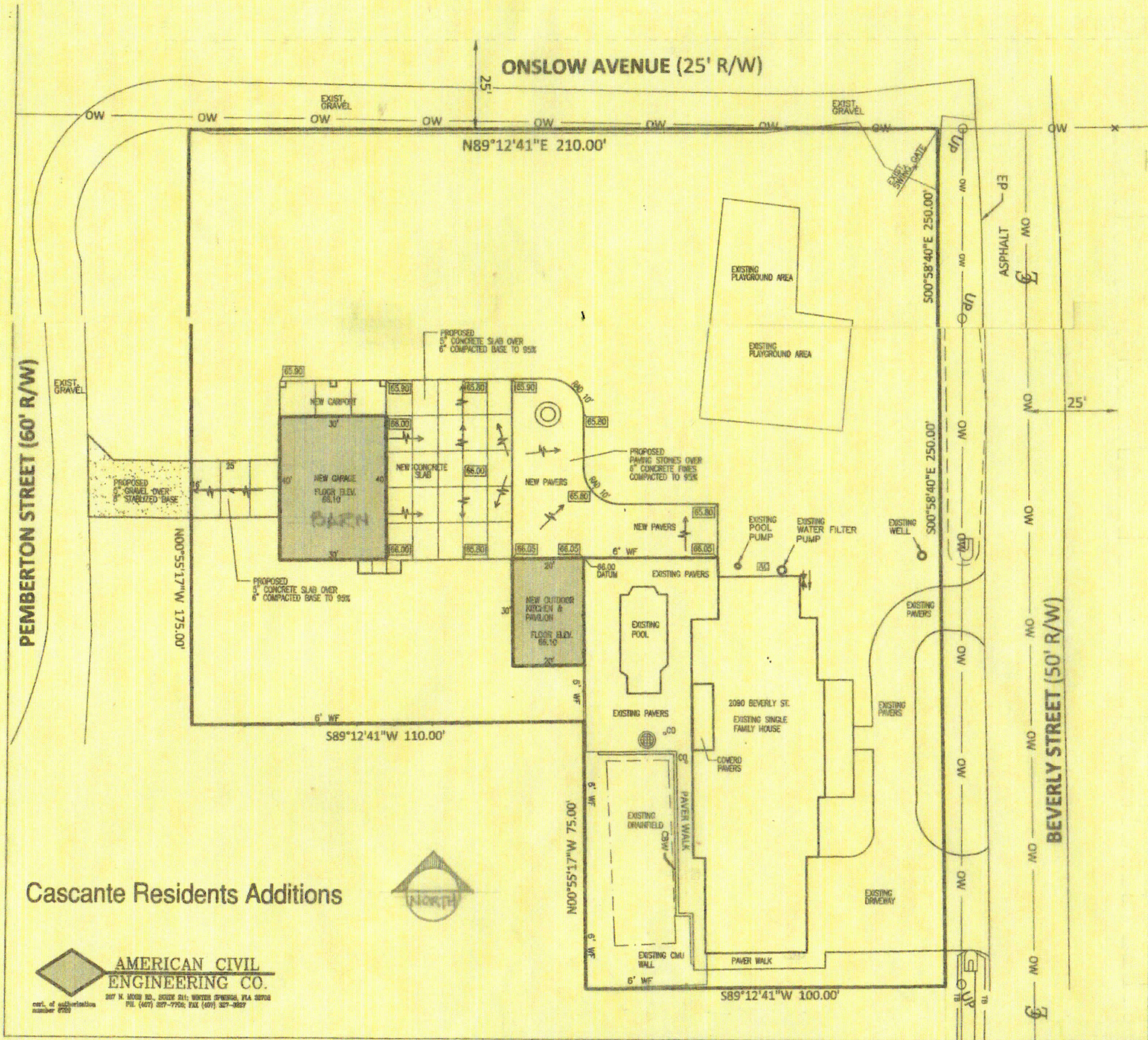
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SURVEY

SUR 1.1



ROGER AND JUSTINE CASCANTE
 NEW
 KITCHEN PAVILION AND GARAGE
 2290 Beverly Street, Oviedo, FL 32762

MILZARCH, LLC
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 LICENSE #AR0008314

SITE CIVIL
C1.1

vacant/wooded

S89°41'16"W 100.00'

SET 5/8"
IRON #4671

SCALE: 1"=20'

no wells w/in 75',

N00°18'44" W 125.00°

125.00'

SHED

CHICKEN
COOP

16" PINE

71

+67.93

well 75', DF >20

Slab shall be above finished grade at foundation
Every effort shall be made to meander around existing vegetation.
Grading around septic system will vary. Contractor is to fine grade in the field to ensure that runoff is facilitated away structure.

SET 5/8"
IRON #4671

12" RCP
INV. = 66.76'

BEVERLY STREET

N00°18'44"W +125.00°

B

S0018-44E

EDGE OF PAVEMENT

PROPOSED GRADE

TREE TO BE
REMOVED

EXISTING GRADE

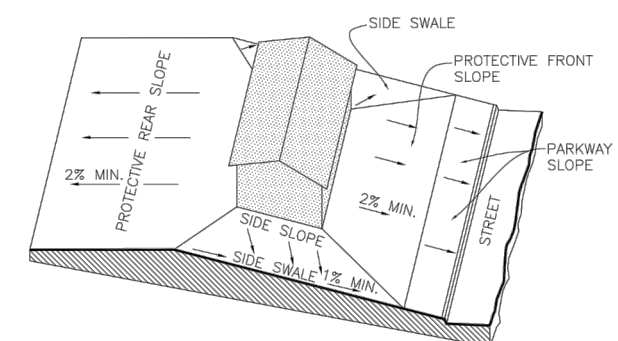
71.30

$$+ 68.3$$

12" RCP
NV. = 66.84

PLANNING AND DEVELOPMENT DEPARTMENT
Building and Fire Inspection Division

NTS
ALL DRAINAGE TO REAR AND STREET



1. THE MINIMUM FINISH FLOOR ELEVATION OF ANY STRUCTURE SHALL NOT BE LESS THAN SIXTEEN (16) INCHES ABOVE THE LOWEST CROWN OF THAT PORTION OF THE ADJACENT STREET, ROAD, OR RIGHT-OF-WAY UPON WHICH THE STRUCTURE FRONTS.
2. THE FINISH FLOOR TO THE MINIMUM OF EIGHT (8) INCHES ABOVE THE HIGHEST CONTOUR THAT ABUTS THE BUILDING.
3. ALL LOTS MUST BE GRADED IN ACCORDANCE WITH THE APPROVED SUBDIVISION GRADING PLAN.
4. ADDITIONS AND POOLS MAY NOT IMPED THE DRAINAGE PATTERN, SWALES MAY NEED TO BE ADDED OR REGARDED TO PROVIDE POSITIVE DRAINAGE.
5. SIDE SWALES MUST BE ON EACH LOT AND SHALL BE CONSTRUCTED TO DIVERT RUN-OFF WATER AROUND ANY STRUCTURE AND SO AS TO NOT ADVERSELY IMPACT ADJACENT PROPERTIES OWNERS.
6. SWALES AND FINAL GRADING MUST BE COMPLETED PRIOR TO FINAL INSPECTIONS.
7. ALL SLOPES SHOWN ARE MINIMUM AND MAY BE INCREASED IF REQUIRED BY DEVELOPMENT REVIEW.

1101 EAST FIRST STREET SANFORD FL 32771-1468 TELEPHONE (407) 665-7050 FAX (407) 665-7461 / 7486



RCE Consultants
Engineering Real Solutions

**CASCANTE RESIDENCE
GRADING PLAN
SEMINOLE COUNTY**

[illegible]

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Engineer of Record

Laurence Poliner
#56974

RCE CONSULTANTS, LLC
Certificate of Authorization 29307

PROJECT
#: 06.2014

JUNE 2014	SHEET: 1
SCALE: N/A	
GRADING PLAN	

GENERAL NOTES

- ALL WORK COMPLETED UNDER THIS CONTRACT SHALL BE IN COMPLIANCE WITH THE 2020 RESIDENTIAL EDITION OF THE FLORIDA BUILDING CODE (FBC, Seventh Edition), AND IN CONJUNCTION WITH ASCE 7-16.
- REFER TO SHEET S9 FOR WIND AND LOADING CRITERIA.
- DO NOT SCALE DRAWINGS. THE CONTRACTOR AND SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO WORK PERFORMED AND SHALL NOTIFY THE ARCHITECT IF ANY DISCREPANCIES ARE FOUND. (NOTE: In this instance the Owner IS the GC, Elfrink Construction)
- THE CONTRACTOR SHALL BRING ERRORS AND OMISSIONS WHICH MAY OCCUR IN CONTRACT DOCUMENTS TO THE ATTENTION OF THE ARCHITECT IN WRITING AND WRITTEN INSTRUCTIONS SHALL BE OBTAINED BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES OR OMISSIONS IN THE CONTRACT DOCUMENTS, OF WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK.
- THE ARCHITECT /ENGINEER SHALL NOT BE RESPONSIBLE FOR THE SAFETY AND CONSTRUCTION PROCEDURES, TECHNIQUES, OR THE FAILURE OF THE BUILDER TO CARRY OUT THE WORK IN ACCORDANCE WITH THE DRAWINGS OR THE REQUIRED CODES.
- THE STRUCTURAL DESIGN IS BASED ON THE INTERACTION OF ALL PARTS OF THE COMPLETED BUILDING. THE CONTRACTOR SHALL SOLELY BEAR THE RISK FOR PROVIDING ADEQUATE STABILITY AND SAFETY OF THE STRUCTURE DURING CONSTRUCTION UNTIL PERMANENT MEMBERS ARE COMPLETELY INSTALLED.
- DETAILS SHOWN ON THE DRAWINGS ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS.
- THE CONTRACTOR SHALL MAKE NO STRUCTURAL CHANGES WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT/ENGINEER.
- NO STRUCTURAL MEMBERS ARE TO BE CUT FOR PIPES, DUCTS, ETC. UNLESS SPECIFICALLY DETAILED.
- WHERE BUILDING LOCATIONS ARE DETERMINED TO BE WIND-BORNE DEBRIS REGIONS, ALL EXTERIOR GLAZED OPENINGS SHALL BE PROTECTED AGAINST WIND-BORNE DEBRIS BY THE INSTALLATION OF STRUCTURAL PANELS OR IMPACT-RESISTANT GLASS. THESE OPENING PROTECTIONS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, RESIDENTIAL, 2014 EDITION.

GENERAL PLAN NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE 2020, SEVENTH EDITION, OF THE FLORIDA BUILDING CODE, RESIDENTIAL, FOR ONE AND TWO FAMILY DWELLINGS FOR THE AREA WITHIN THE SEMINOLE COUNTY JURISDICTION, UPON WHICH THE RESIDENCE IS TO BE BUILT.
- ROUGH OPENING JAMB OF ALL DOORS SHALL BE A MINIMUM OF 6" FROM ANY CORNER UNLESS OTHERWISE NOTED.
- ANY DOOR LOCATED BETWEEN TWO WALLS SHALL BE CENTERED AND BE EQUAL ON EACH SIDE UNLESS OTHERWISE NOTED.
- ALL POCKET DOORS SHALL BE FRAMED USING 2X6 FRAMING UNLESS OTHERWISE NOTED.
- PROVIDE 2X4 BLOCKING AT WALLS TO ALLOW FOR PROPER INSTALLATION OF APPLIANCES OR ACCESSORIES, WHERE INDICATED.
- ALL EXTERIOR WALL DIMENSIONS ARE TO OUTSIDE FACES OF CMU WALLS AND EXTERIOR STUD WALLS. INTERIOR DIMENSIONS ARE TO FACE OF STUDS UNLESS NOTED OR SHOWN OTHERWISE.
- PROVIDE FIRE BLOCKING AT WALL PARTITIONS OVER 10'-0" IN HEIGHT, SOFFITS, BEARING WALLS, FLOOR AND CEILING JOIST LINES, AND OTHER LOCATIONS THAT COULD ALLOW PASSAGE OF FLAMES.
- SHOWER AND BATHTUB WALLS AND CEILINGS SHALL BE CONSTRUCTED OF DENSE, NON-ABSORBENT WATER-PROOF GYPSUM BOARD TO FULL HEIGHT OF WALLS.
- THE FOLLOWING SHALL BE PROVIDED UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS:
 - SOLID FULL-DEPTH BLOCKING AT ENDS AND AT EACH SUPPORT OF JOISTS AND RAFTERS.
 - DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
 - DOUBLE HEADER AND TRIMMER JOISTS AT ALL FLOOR OPENINGS.
 - TRIPLE 2x8 HEADERS W/ 1/2" PLYWOOD, BETWEEN THE 2x8s (TYP) AT ALL EXTERIOR DOOR AND WINDOW OPENINGS, AND AT LOAD-BEARING LOCATIONS OR 3-1/2" X 4-3/8" LSL UNDER 4'-0" WIDTHS.
 - MINIMUM OF TWO FULL STUDS BEARING AT ALL BEAMS AND HEADERS OVER 4'-0".
 - MINIMUM OF THREE FULL STUDS BEARING AT ALL BEAMS AND HEADERS OVER 10'-0".
 - METAL JOIST HANGERS AT ALL "FLUSH" BEAMS AND HEADERS.SEE STRUCTURAL DRAWINGS FOR OTHER DATA. STRUCTURAL DRAWINGS SUPERSEDE THESE SPECS.
- PROVIDE A CONTINUOUS BEAD OF GLUE UNDER ALL EXTERIOR WALL PLATES.

GENERAL ELEVATION NOTES

- FINISH GRADE SHALL SLOPE AWAY FROM STRUCTURE AS TO PREVENT RUNOFF WATER COLLECTING AGAINST STRUCTURE.
- ALL STAIR AND PORCH HANDRAILS SHALL BE 36" ABOVE TREAD NOSING OR PORCH FLOOR.
- ALL RAILING PICKETS SHALL BE SPACED IN SUCH A WAY AS TO DISALLOW PASSAGE OF A 4" SPHERE AS REQUIRED BY CODE.
- OWNER SHALL SELECT EXACT EXTERIOR FINISHES AND COLORS AFTER REVIEW WITH CONTRACTOR, THE CITY AND HPB, WHERE APPLICABLE.
- CONTRACTOR SHALL VERIFY FINSH GRADE REQUIREMENTS AND FOOTING AND FOUNDATION STEPS REQUIRED FOR SITE.

GARAGES AND CARPORTS

- SECTIONAL GARAGE DOOR - DESIGN BASIS: CLOPAY, – BRIDGEPORT STEEL -
- <https://www.clopaydoor.com/bridgeport/#> - Insulated, narrow recessed panel with SQ22 short upper windows; ultra-grain oak, medium finish; seeded glass; spear lift handles. Plus LiftMaster Elite Series, Electric opener
 - A. ENGINEERED FOR 140 MPH MIN. WIND LOAD
 - B. DETAIL TO BE SUPPLIED BY GARAGE DOOR SUPPLIER
 - C. DETAIL TO BE ATTACHED TO PERMIT PACKAGE BY BUILDER

TERMITE PROTECTION TO BE USED

- BORA-CARE TERMITICIDE
SUBTERRANEAN TERMITE PRETREATMENT ONLY APPLIED TO GROUND FLOOR WOOD SURFACES. THIS TREATMENT SERVES AS A PRIMARY TREATMENT TO PREVENT SUBTERRANEAN TERMITES. PRETREATMENT TO BE PERFORMED AT A POINT DURING THE CONSTRUCTION PROCESS AFTER THE "DRIED-IN" STAGE WHEN ALL STRUCTURAL WOOD AND SHEATHING IN PLACE, YET PRIOR TO INSTALLATION OF INSULATION AND WALL COVERINGS. TREATMENT IS PURSUANT TO CHAPTER 482, FLORIDA STATUTES AND FLORIDA BUILDING CODE (FBC) SECTION R320

CONCRETE

- REFER TO SHEET S1 FOR STRUCTURAL REQUIREMENTS.
- PROVIDE 45-MIL, MINIMUM THICKNESS, VAPOR BARRIER, OVERLAP AND SEAL PER MANUFACTURER'S RECOMMENDATIONS.

MASONRY

- REFER TO SHEET S1 FOR STRUCTURAL REQUIREMENTS.
- EXTERIOR STONE VENEER, DESIGN BASIS: True Slate Stone – “Ledger Stone, Golden Harvest,” as distributed by Floor & Décor, with premade corners. USE LATICRETE THIN BRICK MORTAR . <https://www.flooranddecor.com/ledgers-stone?prefn1=productType&prefv1=Slate>

SITEWORK

- PRESUMPTIVE SOIL BEARING CAPACITY IS 2000 PSF ON UNDISTURBED SOIL. REMEDIATE SOIL TO THIS CAPACITY. ALL CONCRETE FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR ENGINEERED FILL. TOP OF FOOTINGS SHALL BE 1'-0" BELOW FINISH GRADE (MIN).
- ELEVATIONS SHOWN ON YOUR SITE DRAWINGS SHOULD BE MINIMUM REQUIRED DEPTHS.
- NO EXCAVATION SHALL BE MADE WHOSE DEPTH BELOW THE FOOTING IS GREATER THAN ½ THE HORIZONTAL DISTANCE FROM THE NEAREST EDGE OF THE FOOTING.
- ALL BACKFILL AT STRUCTURES, SLABS, STEPS, AND PAVEMENTS SHALL BE CLEAR OF GRANULAR FILL. PLACE IN 8" LAYERS AND COMPACT TO 95% MAXIMUM DRY DENSITY DETERMINED IN ACCORDANCE WITH ASTM D1557. THE BUILDING SITE SHALL BE KEPT DRY SO THAT EROSION WILL NOT OCCUR IN THE FOUNDATIONS.
- COMPACTION BY FLOODING OR JETTING IS STRICTLY PROHIBITED.
- DO NOT BACKFILL UNTIL SLABS HAVE CURED OR HAVE BEEN PROPERLY BRACED. (WHERE APPLICABLE)
- EXCAVATIONS TO BE A MINIMUM OF 3'-0" BEYOND NEW FOOTING LINE.
- THE GENERAL CONTRACTOR MUST TAKE MEASURES TO CONTROL SOIL EROSION AS PER ALL LOCAL AND STATE REQUIREMENTS.
- THESE BUILDINGS ARE NOT DESIGNED TO BE CONSTRUCTED WITHIN A FLOOD ZONE. CONTRACTOR IS TO VERIFY THE ELEVATIONS OF THE FINISHED FLOOR SLABS WITH THE SIGNED AND SEALED SURVEY WHICH COMPLIES WITH ALL LOCAL CODES HAVING JURISDICTION, INCLUDING ALL APPLICABLE STATE, CITY, AND COUNTY BUILDING AND ZONING CODES.

REINFORCING STEEL

- REFER TO SHEET S1 FOR STRUCTURAL REQUIREMENTS.

FLOOR FRAMING AND SHEATHING NOTES

- PLACE (2) STUDS (MINIMUM) UNDER ALL BEAM AND HEADER BEARING POINTS UNLESS NOTED OTHERWISE ON THE PLANS.
- UNLESS OTHERWISE SPECIFIED BY THE JOIST/TRUSS MANUFACTURER OR PER THE STRUCTURAL DRAWINGS, USE THE SIMPSON CONNECTORS AS SHOWN IN THE ARCHITECTURAL AND STRUCTURAL DETAILS.
- ALL PENETRATIONS THROUGH JOISTS TO BE IN ACCORDANCE WITH JOIST MANUFACTURER SPECIFICATIONS. DESIGN BASIS FOR FLOOR TRUSSES BY CHOICE OF ELFRINK CONSTRUCTION. ROOF FOR BARN ARE HAND FRAMED WOOD JOISTS/RAFTERS.
- TYPICAL FLOOR SHEATHING, WHERE APPLICABLE, SHALL BE 3/4" (MINIMUM) T&G ADVANTECH DECKING NAILED WITH 8D NAILS AT 6" O.C. AT ALL PANEL ENDS, SUPPORT EDGES AND AT ALL BLOCKING; 10D AT 10" O.C. ALONG INTERMEDIATE FRAMING MEMBERS. NAILING SHALL BE SPACED AT 3/8" MINIMUM FROM EDGE OF PANEL AND 1/8" SPACING AT ALL BUTT JOINTS.
- ALL 3/4" FLOORS (BARN LOFT, ONLY) SHALL BE GLUED AT ALL JOISTS AND BETWEEN ALL TONGUE AND GROOVES.
- LAY SHEATHING WITH FACE GRAIN AT RIGHT ANGLES TO FRAMING AND STAGGER END JOINTS. APPLY CONSTRUCTION ADHESIVE AS PER MANUFACTURER'S SPECIFICATIONS.
- BLOCK JOISTS SOLID AT ALL BEARING POINTS.
- PROVIDE PRESSURE TREATED LUMBER AND FOAM FOR ALL SILLS, PLATES, BANDS, AND ANY OTHER APPLICATIONS WHICH CONTACT MASONRY.
- SILL PLATE OR FLOOR SYSTEM, IF REQUIRED, SHALL BE ANCHORED WITH 1/2" DIAMETER BOLTS, OR SILL TIES PLACED 6'-0" O.C. AND NOT MORE THAN 12" FROM EACH CORNER. BOLTS SHALL EXTEND A MINIMUM OF 12" INTO MASONRY OR 7" INTO CONCRETE.
- EXTERIOR SHEATHING, DESIGN BASIS: HARDIE PLANK BOARD AND BATTEN AND HARDIE TRIM, EXTERIOR SOFFITS WHERE APPLICABLE - HARDIE BEAD BOARD SHEETS - INSTALL PER ALL MANUFACTURER'S REQUIREMENTS.

INSULATION NOTES

- THESE BUILDINGS SHALL BE CONSTRUCTED IN SUCH A WAY AS TO CONFORM TO ENERGY STAR STANDARDS, ONLY IF REQUIRED BY THE COUNTY AND SHALL BE TESTED BY A LICENSED INDEPENDENT HERS RATER SO THAT THEY WILL QUALIFY FOR ANY CERTIFICATIONS AND DISCOUNTS AVAILABLE. PLEASE ASK QUESTIONS TO THE ARCHITECT OR VISIT www.energystar.gov
- NO MINIMUM INSULATION REQUIREMENTS ARE NECESSARY FOR THESE TWO BUILDINGS AND ARE THE OWNERS'S/CONTRACTOR'S OPTION, AS FOLLOWS: EXTERIOR CMU WALLS - 1 ½" RIDGID POLY ISO BOARDS, BETWEEN THE FURRING, UNDER THE HARDIE BOARD AND BATTEN FINISHED SURFACE. - R-19. AT THE WOOD FRAMED LOFT WALLS, DESIGN BASIS: EQUAL TO OWENS CORNING R-19 FOIL FACED BATT INSUL.; LOFT CEILINGS - R-30, UNDERSIDE OF ROOFDECK, DESIGN BASIS: TAILORED FOAM, R30, WITH A SPRAYED ON THERMAL BARRIER. BETWEEN FLOORS. - NOT REQUIRED.
- INSULATE AROUND EXTERIOR WALL AND FLOOR PENETRATIONS UTILIZING FIBERGLASS, CELLULOSE OR SPRAY FOAM. (I.E. - ELECTRICAL OUTLETS/SWITCHES, HOSE BIBS, TUB/SHOWER DRAINS AND VENT PIPES)
- INSULATE AROUND ALL EXTERIOR WINDOWS AND DOORS UTILIZING FIBERGLASS, CELLULOSE OR SPECIAL SPRAY FOAM FOR WINDOWS AND DOORS PRIOR TO THE INSTALLATION OF THE GYPSUM BOARD.
- A. INSTALL A FOIL BASED OSB ROOF SHEATHING (SOLARBOARD OR TECHSHIELD) IF A FIBERGLASS OR CELLULOSE INSULATION IS TO BE UTILIZED. B. INSTALL A STANDARD OSB ROOF SHEATHING IF A SPRAY FOAM INSULATION (ICYNENE) IS TO BE UTILIZED.
- INSTALL 5 1/2" SILL FOAM CONTINUOUS UNDER ALL EXTERIOR PERIMETER SILL PLATES.
- INSULATE EXTERIOR WALLS AT TUB AND SHOWER UNITS PRIOR TO INSTALLATION.
- EXTERIOR BUILDING WRAP, ALL EXTERIOR WALLS, INCLUDING GARAGE, DESIGN BASIS: EQUAL TO DUPONT TYVEK HOMEWRAP. FOLLOW MAUNFACTURER'S INSTALLATION INSTRUCTIONS.

WINDOW AND DOOR NOTES

- DOOR AND WINDOW HEAD HEIGHTS SHALL BE EQUAL UNLESS OTHERWISE NOTED. WINDOW SIZES MAY VARY WITH TYPE AND MANUFACTURER.
- ALL WINDOWS AND DOORS SHALL BE FULLY FLASHED AND CAULKED WATERTIGHT. USE WINDOW TAPE AT EACH WINDOW STARTING AT THE BOTTOM, SIDES, THEN TOP. INSTALL PER WINDOW MANUFACTURER'S WATERPROOFING INSTRUCTIONS. INSTALL AND SHIM PER MANUFACTURER'S SPECIFICATIONS.
- ALL WINDOWS AND DOORS ARE TO BE STORED ON SITE PROPERLY PRIOR TO INSTALLATION AS TO PREVENT DAMAGE TO UNITS.
- ALL WINDOWS AND DOORS SHALL BE SHIMMED AT ALL POINTS PROVIDED BY THE MANUFACTURER.
- SET ALL WINDOW FLANGES AND DOOR FLANGES IN A CONTINUOUS BEAD OF SILICONE THEN NAIL FLANGES AS REQUIRED BY MANUFACTURER.

TIMBER

- SEE SHEET S1 FOR STRUCTURAL REQUIREMENTS.
- ALL LUMBER EXPOSED TO WEATHER, OR AGAINST SOIL, CONCRETE OR MASONRY MUST BE PRESSURE TREATED.
- FOR ROOFS, SHEATHING SHALL BE APA RATED 3/4" PT, T&G PWD AT PAVILION, AND 5/8" OSB EXPOSURE-1 OR 5/8" CDX PLYWOOD SHEATHING AT THE BARN. PROVIDE PANEL-CLIPS AT MID-SPAN FOR SPANS GREATER THAN 16" ON CENTER AT ALL UNBLOCKED EDGES OF PLYWOOD SHEATHING. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- TRUSS MANUFACTURER FOR FLOOR JOIST AT BARN SHALL PROVIDE COMPLETE CALCULATIONS SHOWING INTERNAL LAYOUT, MEMBER FORCES AND STRESS CONTROL POINTS AND SUBMIT TO THE BUILDING DEPARTMENT FOR APPROVAL AND TO THE STRUCTURAL ENGINEER FOR REVIEW. ALL CALCULATIONS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL CIVIL OR STRUCTURAL ENGINEER REGISTERED IN THE STATE OF THE PROPOSED CONSTRUCTION.
- THE CONNECTIONS FOR ALL TIMBER EXPOSED TO EXTERIOR ELEMENTS OR TO PRESSURE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED METAL, ONLY.
- ALL SHEET METAL FRAMING CONNECTORS SHOWN ON THE PLANS SHALL BE "SIMPSON" STRONG-TIE BY SIMPSON CO., OR EQUAL. UNLESS NOTED OTHERWISE ON PLANS, INSTALL CONNECTIONS WITH THE SIZE AND NUMBER OF BOLTS/NAILS AS RECOMMENDED BY THE MANUFACTURER IN THE LATEST CATALOG.

OTHER PRODUCT DESIGN BASIS

- NOT USED
- HURRICANE STRAPPING: QUICKTIE AND SIMPSON (see structural)
- GARAGE DOOR: CLOPLAY (see garages and carports above) FL PRODUCT APPROVAL # FL16546R14
- DOORS: THERMA-TRU SMOOTH STAR (see door schedule) #FL887L5
- WINDOWS: PLY GEM SH VINYL, SERIES 1500 (see window schedule) #FJ16103R-8
- BATT INSUL: NOT REQUIRED
- ROOF INSUL: DESIGN BASIS, BARN ONLY - (OWNER'S OPTION, not required): TAILORED FOAM R-30 UNDER ROOF DECK (OF BARN) WITH THERMAL BARRIER
- ROOF UNDERLAYMENT DESIGN BASIS: RHINOROOF, BY INTERWRAP - #FL15216-R2
- ROOF SHINGLES DESIGN BASIS: CERTAINTeed LANDMARK, 3 TAB ASPHALT SHINGLES - #FL5444-R10
- HARDIE PRODUCTS: BOARD AND BATTEN SIDING& TRIM AT BARN ONLY.
- PVC ORNAMENTAL COLUMN WRAP: CHEYENNE TAPERED SQUARE COLUMNS WITH TUSCAN BASE AND CAP (See wall sections)

Cascante Pavilion & Garage/Barn

MILZARCH, LLC

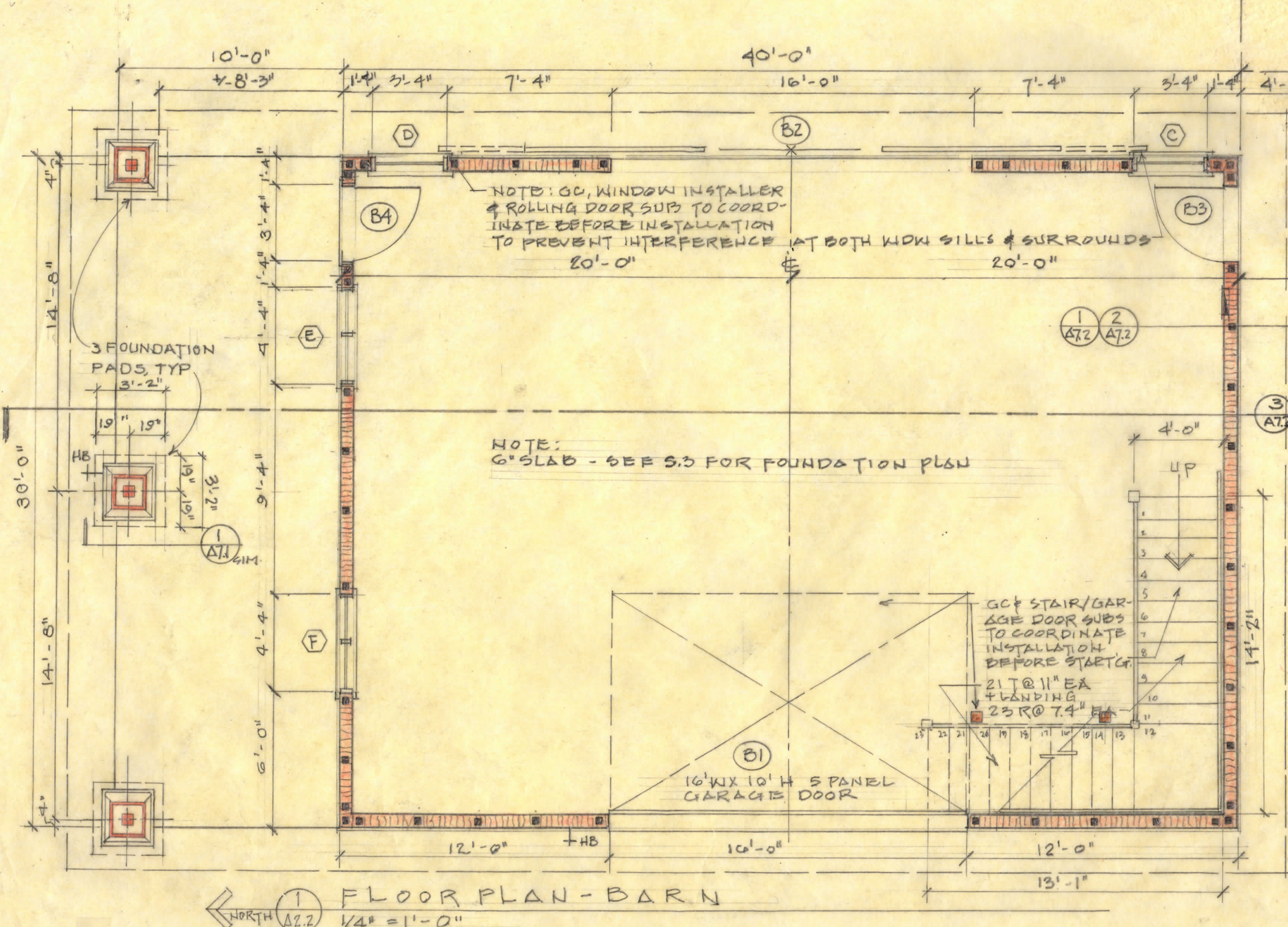
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701 WEST THIRD ST. SANFORD, FL.
32771
407.921.8795 MILZARCH@GMAIL.COM
LICENSE #AR0008314.

Specs
Summary
A1.1

12.07.21

A2.1

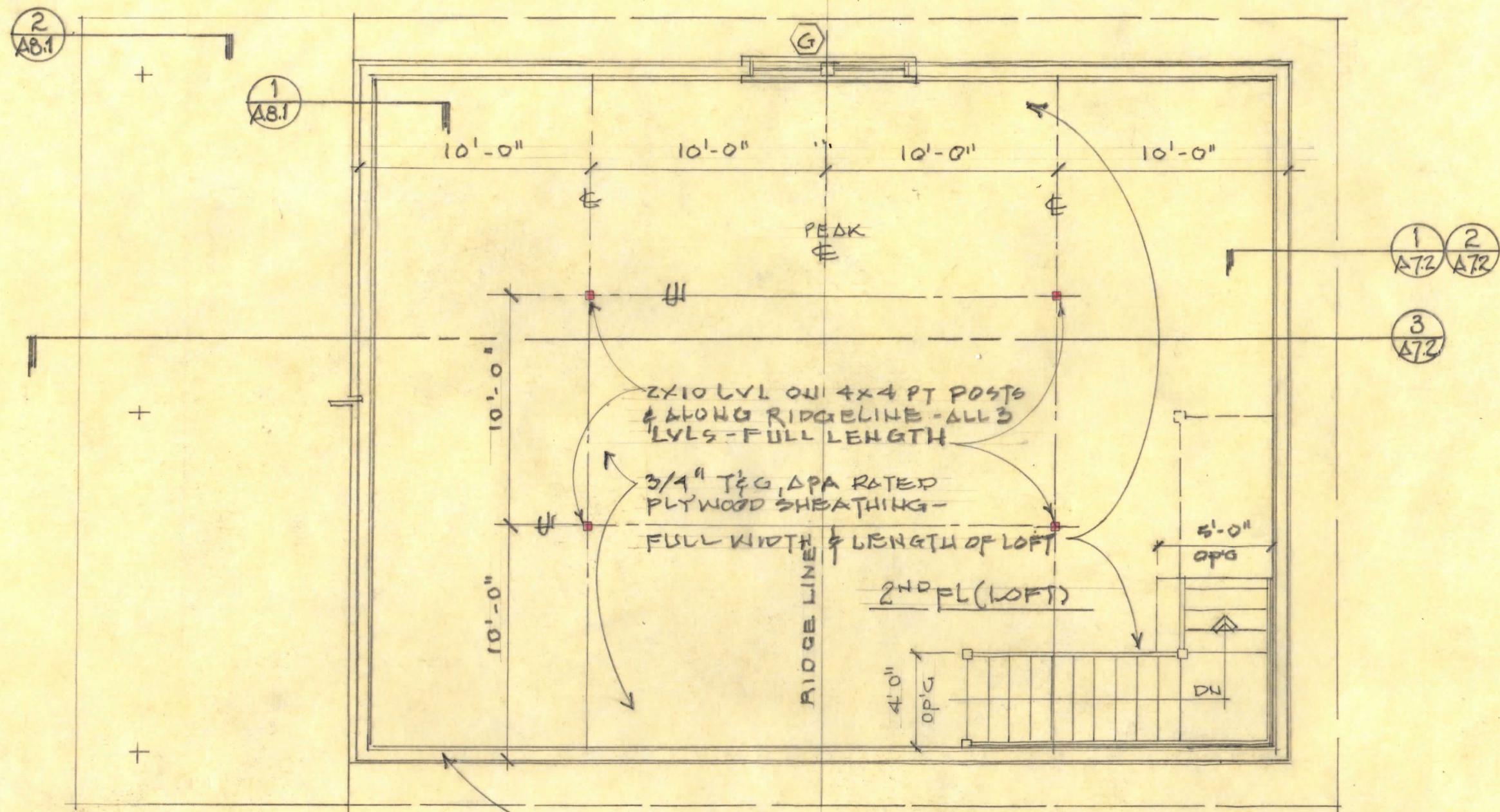




ROGER AND JUSTINE CASCANTE
NEW
KITCHEN PAVILION AND GARAGE
2290 Beverly Street, Oviedo, FL 32762

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BARN FIRST FL. PL.
A2.2



2x6 STUD FRAMING @ 24" O.C. - E&W TRIANGULAR
WALLS. FACE EXTERIOR W/ 5/8" CDX PWD. W/HOUSE -
WRAP & 2x4 STUD FRAMING, HARDIE BOARD & BATTENS -
BATTENS @ 12" O.C. NOTE! OUTSIDE FACE OF CDX
PWD. MUST BE FLUSH W/ OUTSIDE FACE OF CMU, BELOW!

← NORTH 1 BARN - 2ND FLOOR PLAN
A2.3 3/16" = 1'-0"

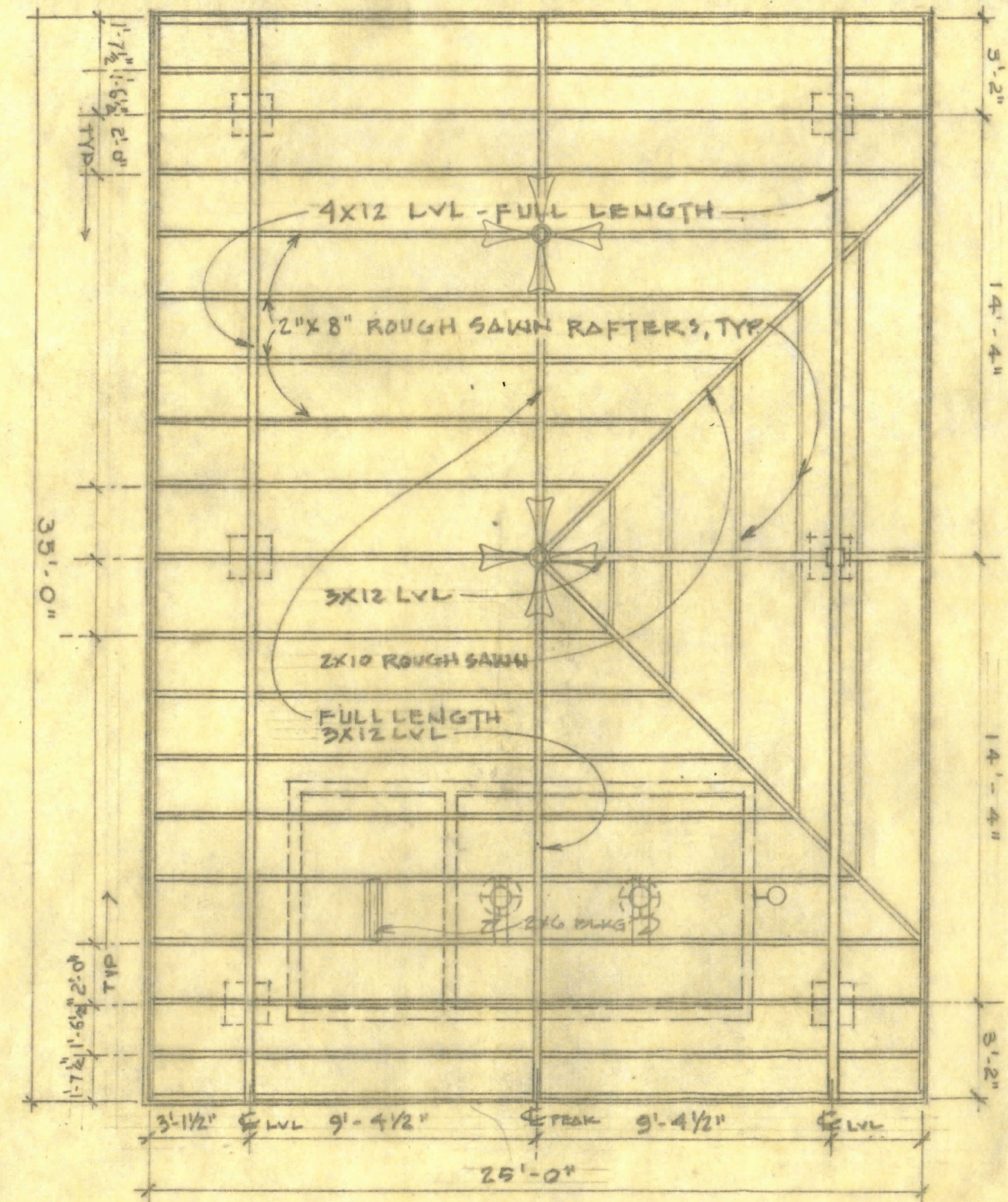
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BARN - 2ND FL PL

A2.3

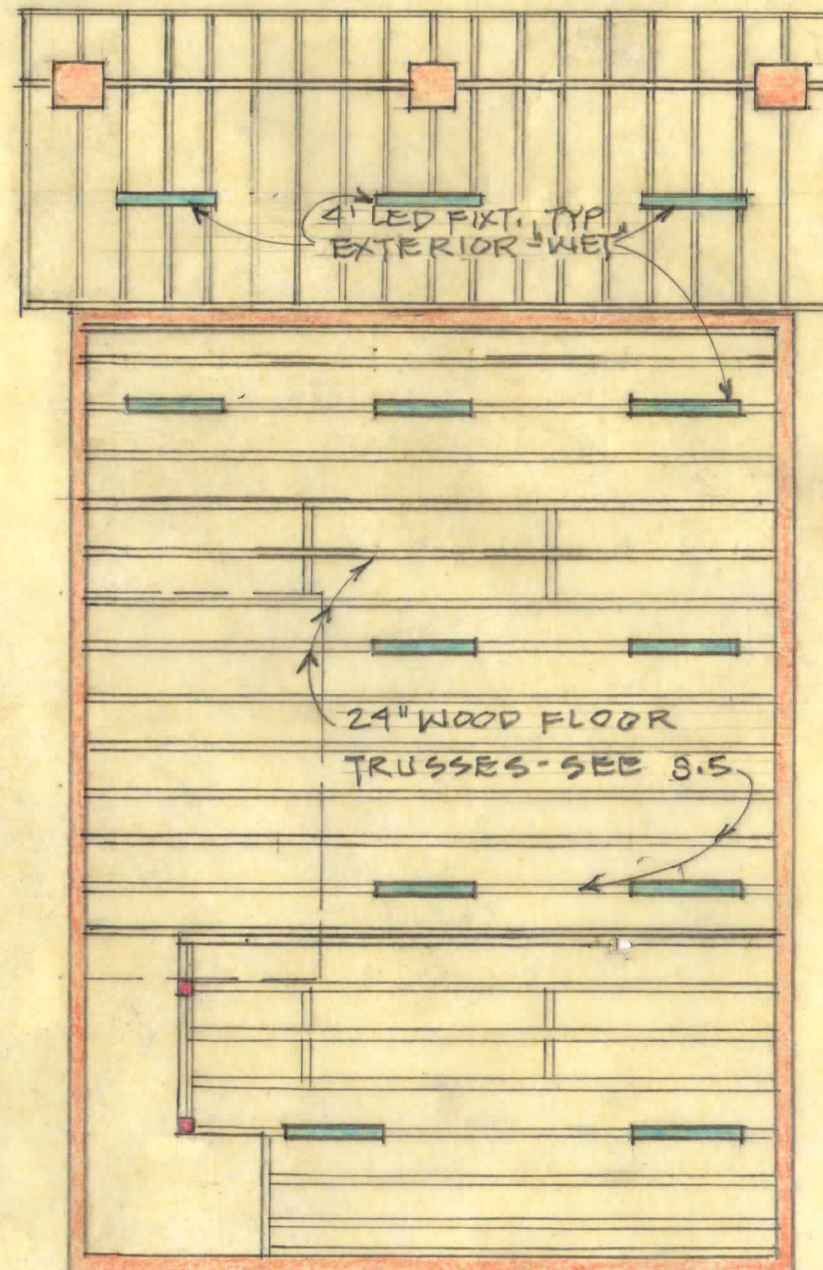
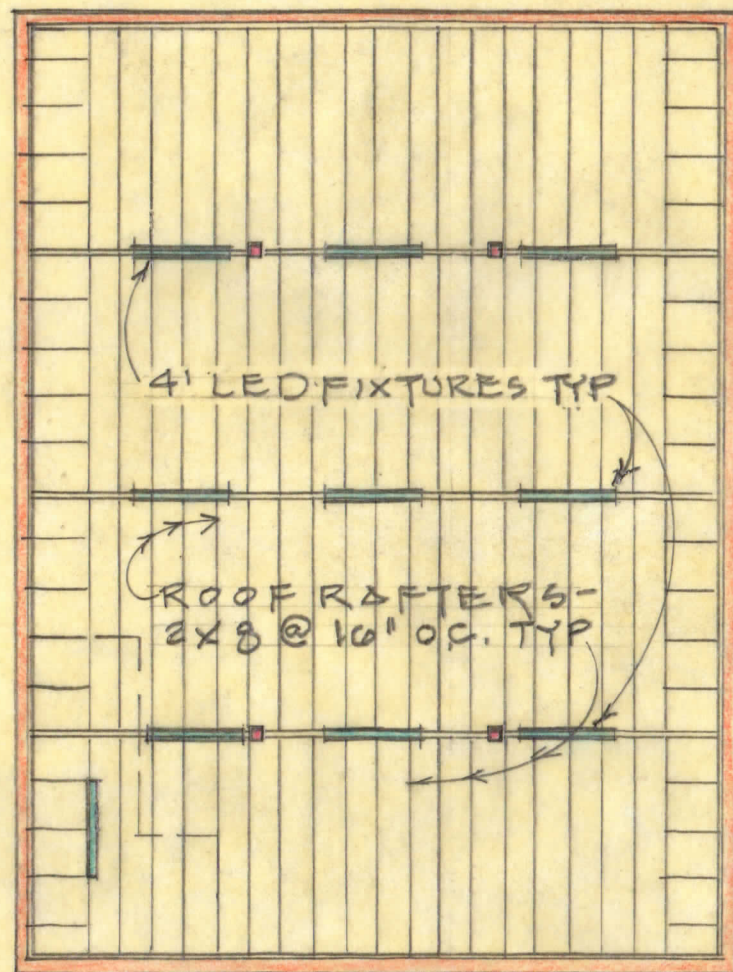


1 PAVILION - REFLECTED CEILING PLAN
 A3.1 1/4" = 1'-0"

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PAVILION REFL CLG PL
A3.1



② BARN - 2ND FL REFL. CLG. PL
A3.2 1/8" = 1'-0"

① BARN - 1ST FL REFLECTED
A3.2 CEILING PLAN (RCP) 1/8"



SEE SH. E.3 FOR ELECTRICAL SWITCHING

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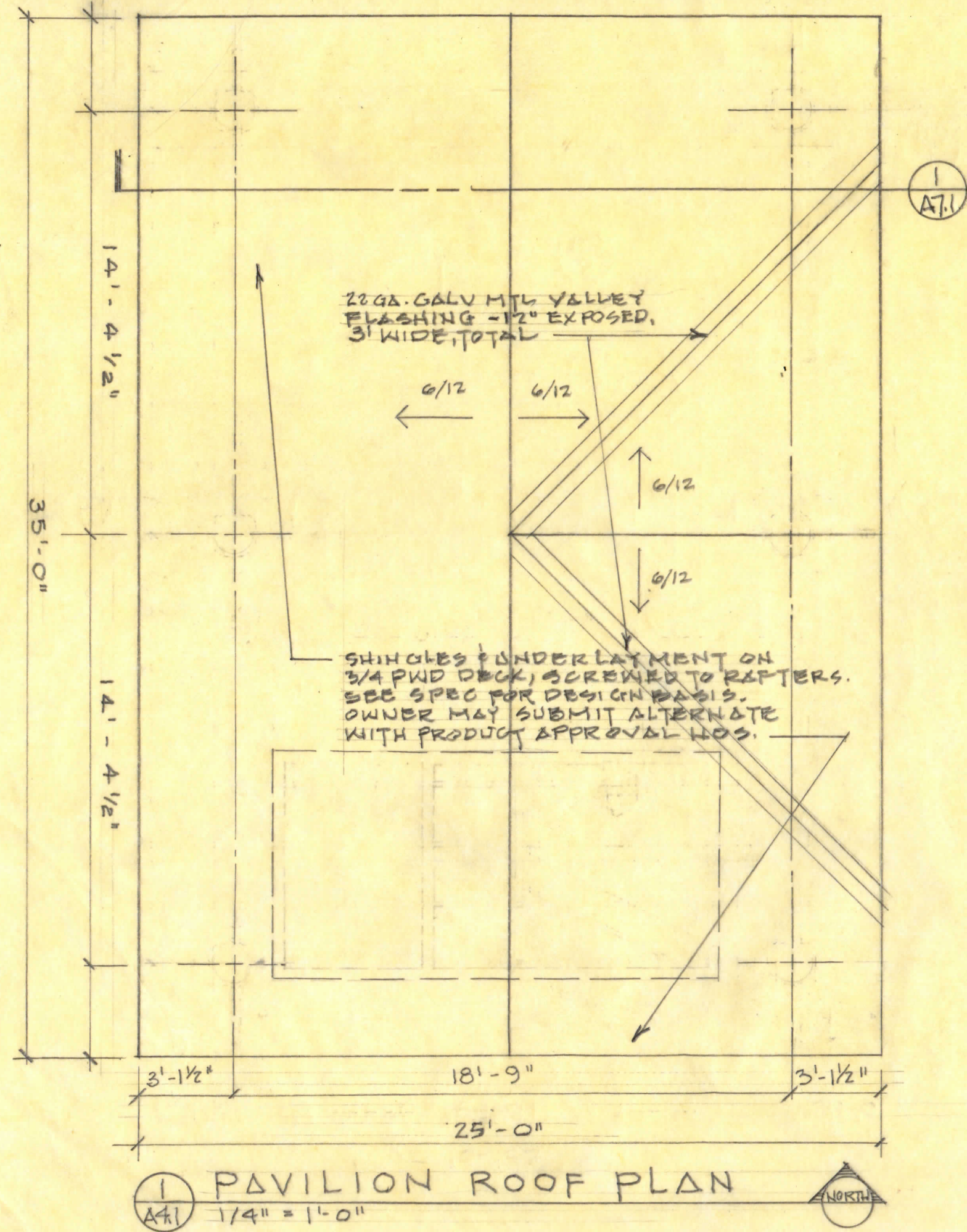
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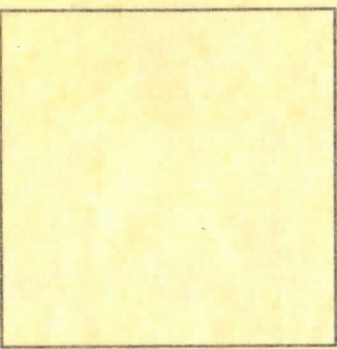
BARN - 1ST & 2ND REFL. CLG. PL.

A3.2

Rev 9/10/21



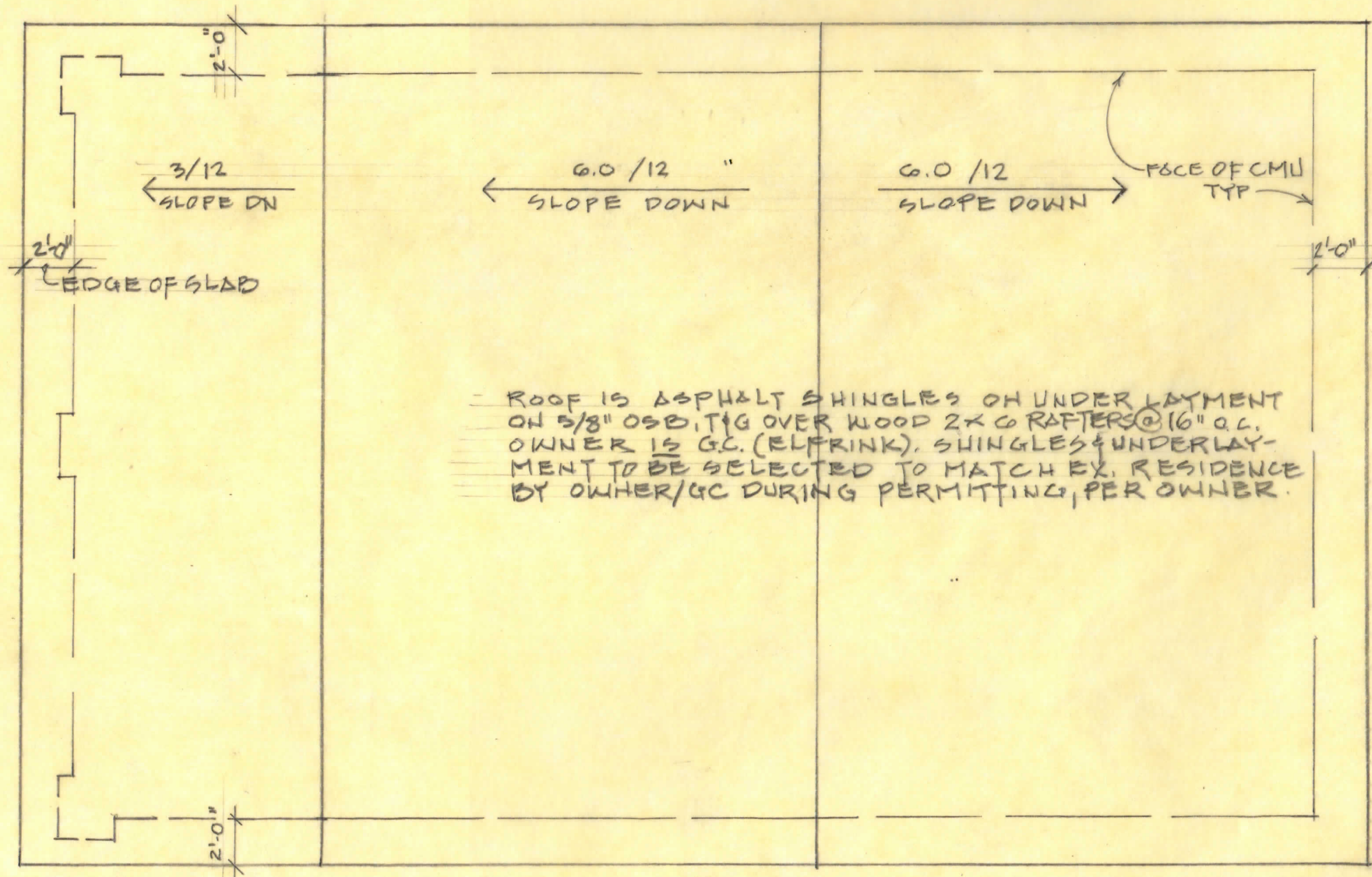
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ROOF PL PAVILION

A4.1

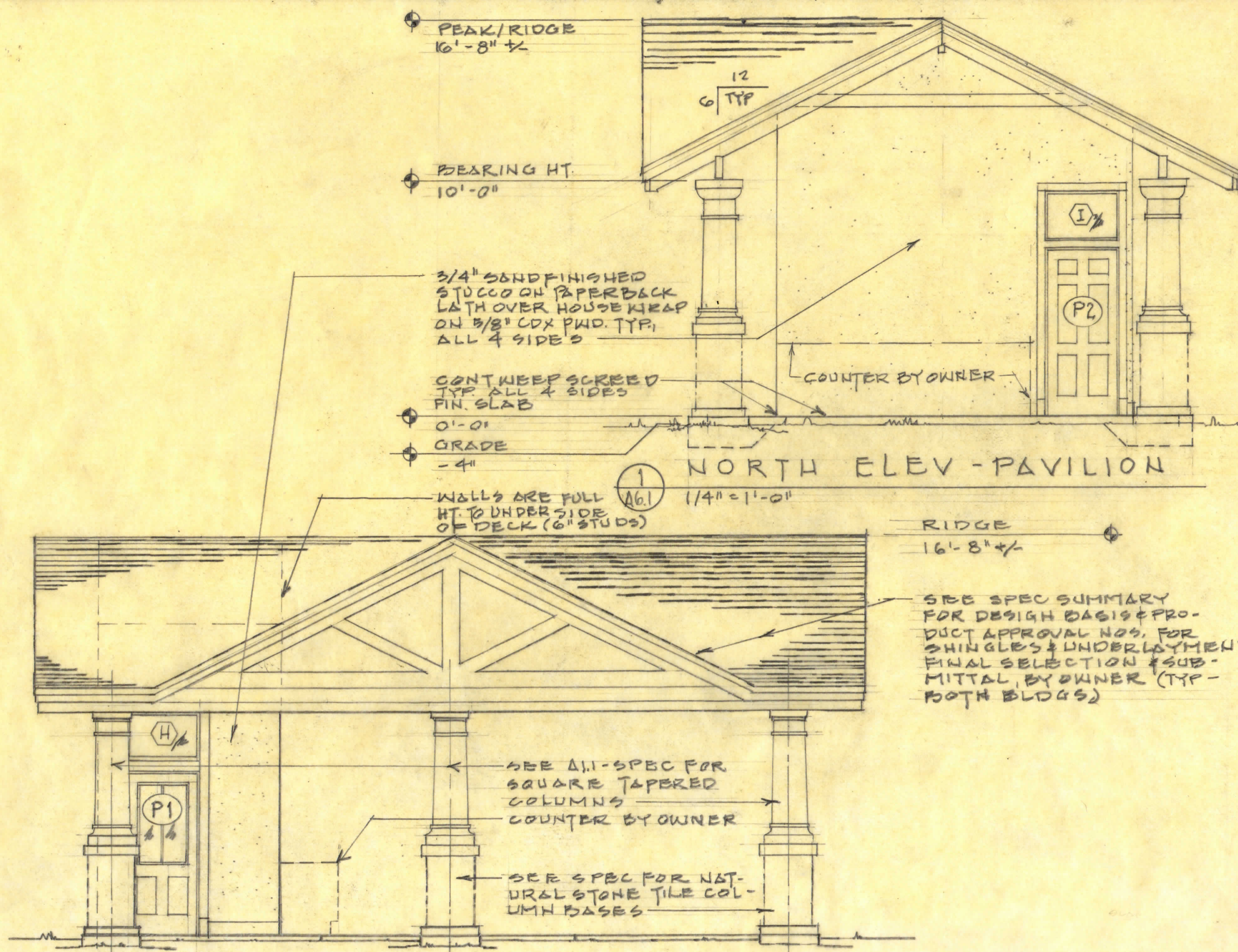


1 BARN - ROOF PLAN
 NORTH 3/16" = 1'-0"

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BARN ROOF PLAN
 A4.2

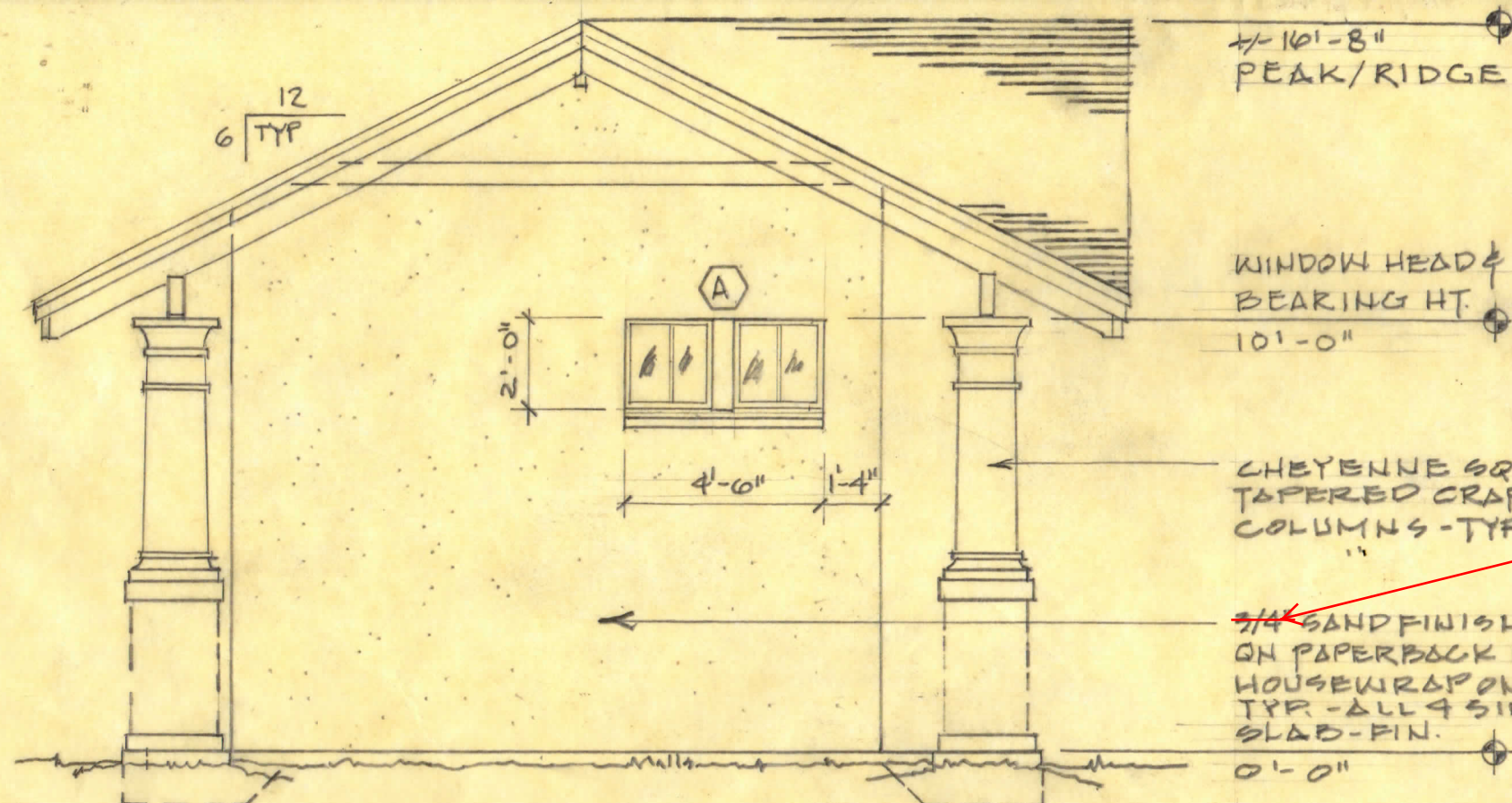


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ELEVATIONS PAVILION N&E

A6.1



101'-8"
PEAK/RIDGE

WINDOW HEAD
BEARING HT.
101'-0"

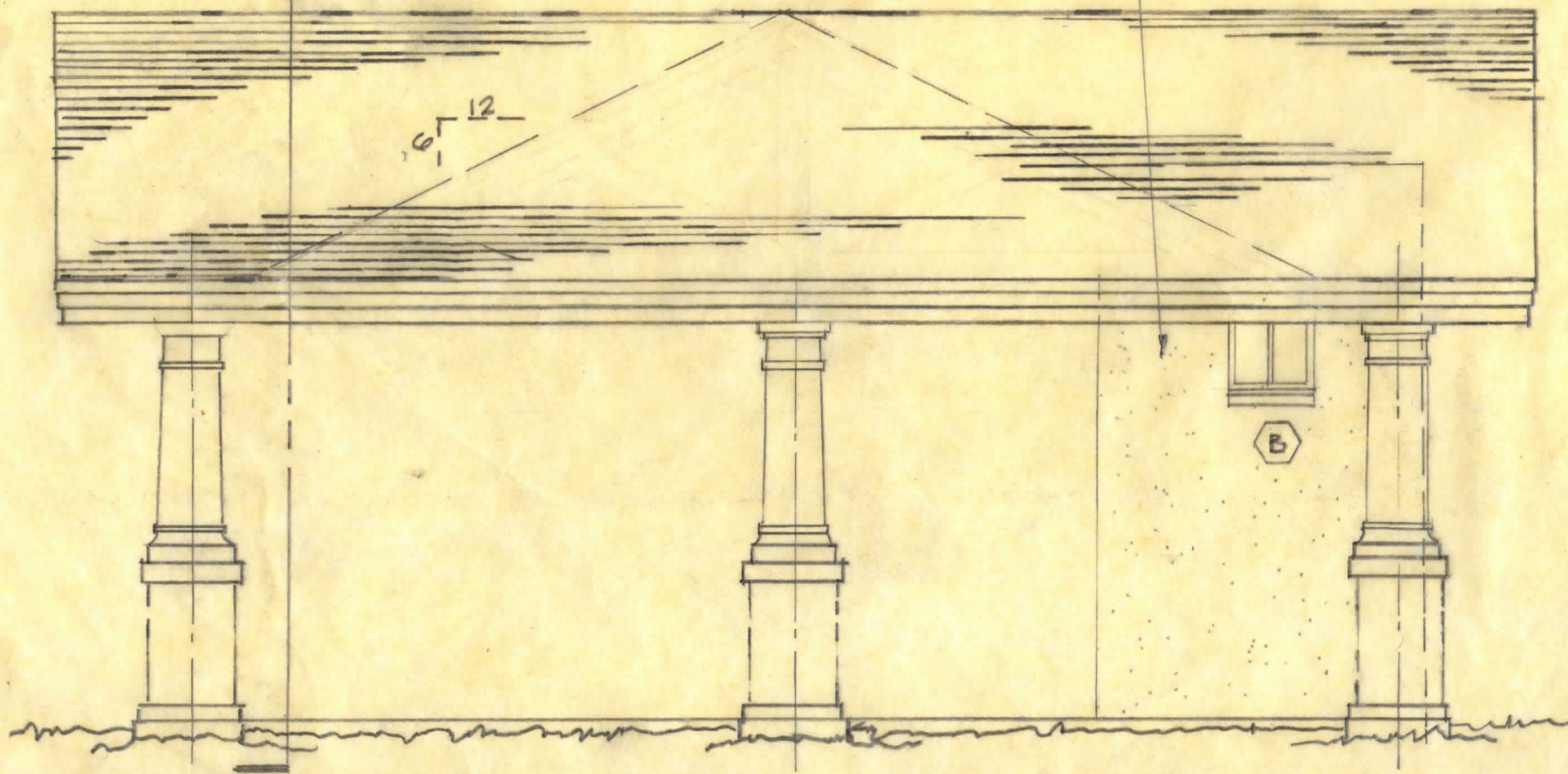
CHEYENNE SQUARE
TAPERED CRAFTSMAN
COLUMNS - TYP.

3/4" SAND FINISHED STUCCO
ON PAPERBACK LATH OVER
HOUSEWRAP ON 5/8" CDX FWD.
TYP - ALL 4 SIDES
SLAB - FIN.
0'-0"

7/8" stucco over
frame per code &
Permit Comment

SOUTH ELEVATION - PAVILION

1
A6.2



WEST ELEVATION - PAVILION

2
A6.2

1/4" = 1'-0"

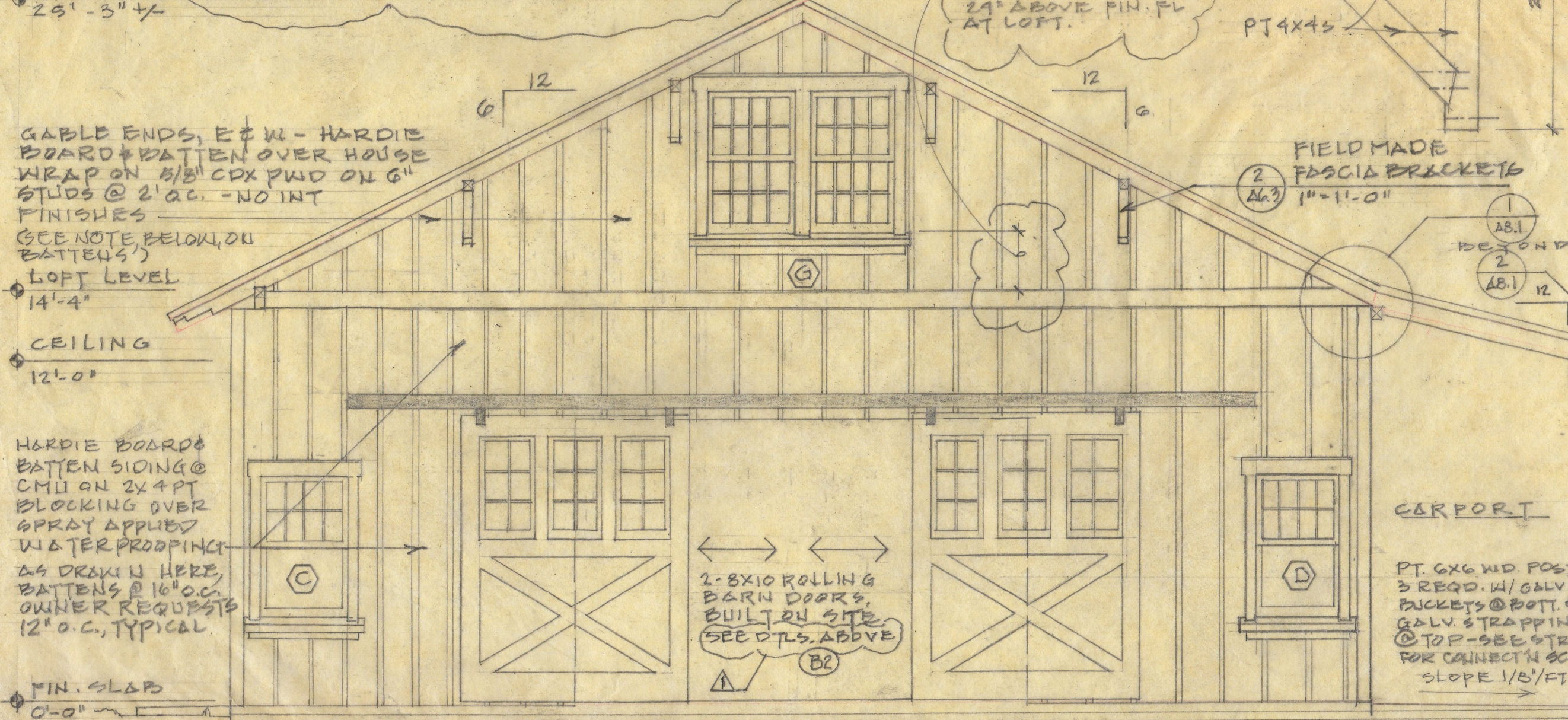
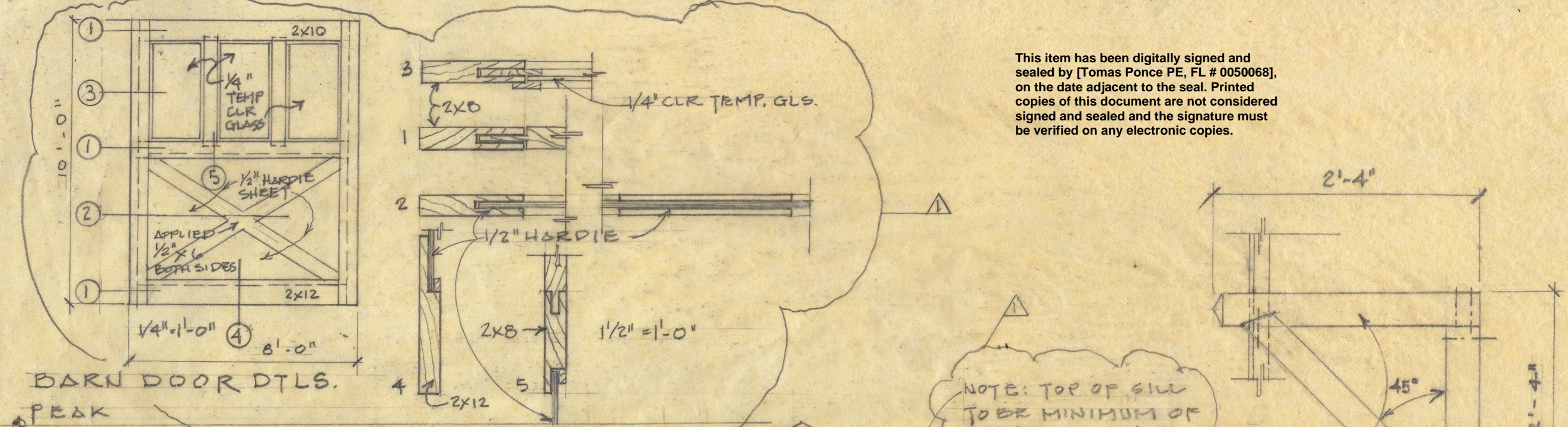
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PAVILION - ELEV - S&W

A6.2

This item has been digitally signed and sealed by [Tomas Ponce PE, FL # 0050068], on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

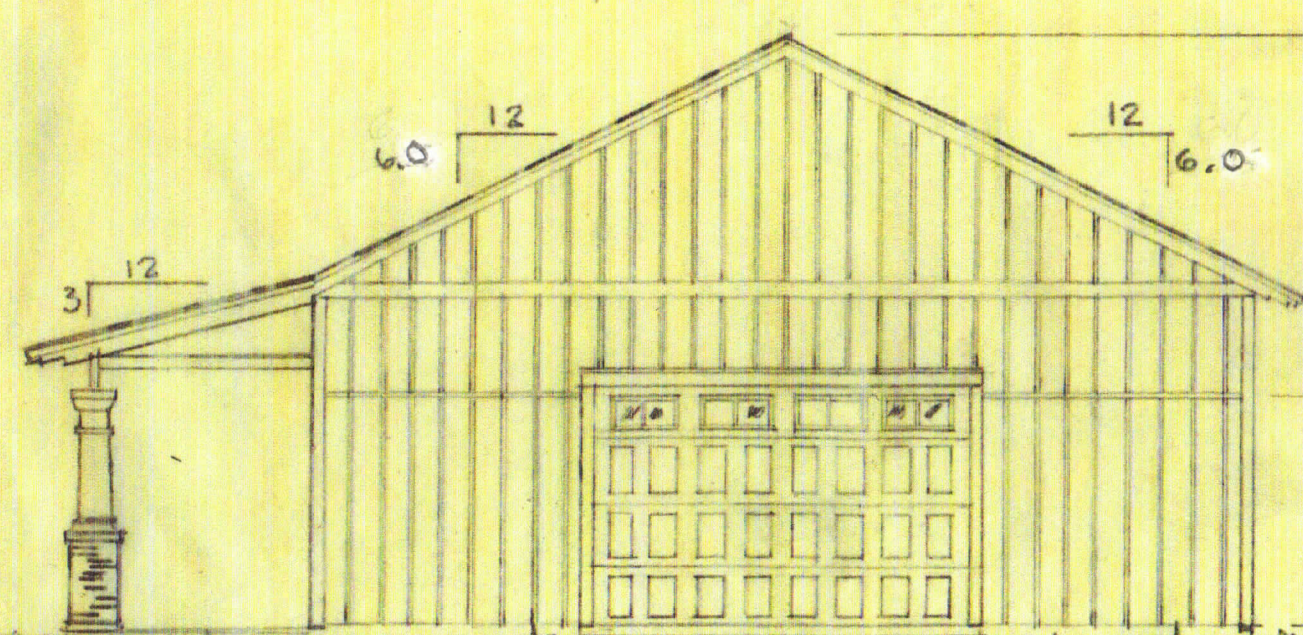


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BARN - ELEV - EAST
A6.3
REV. 6.27.22

1 GARAGE EAST ELEVATION
1/4" = 1'-0"



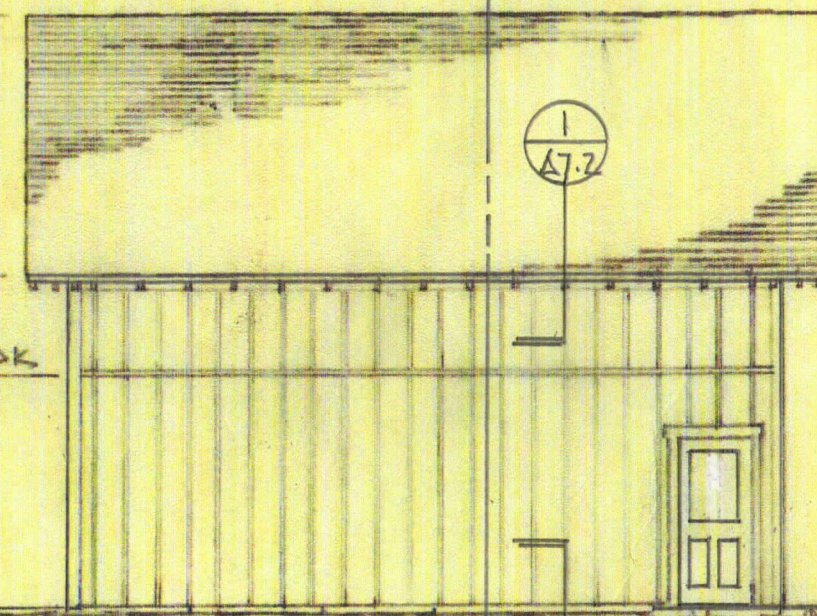
2 WEST ELEV. - BARN
A6.4 1/8" = 1'-0"

RIDGE
25'-6"

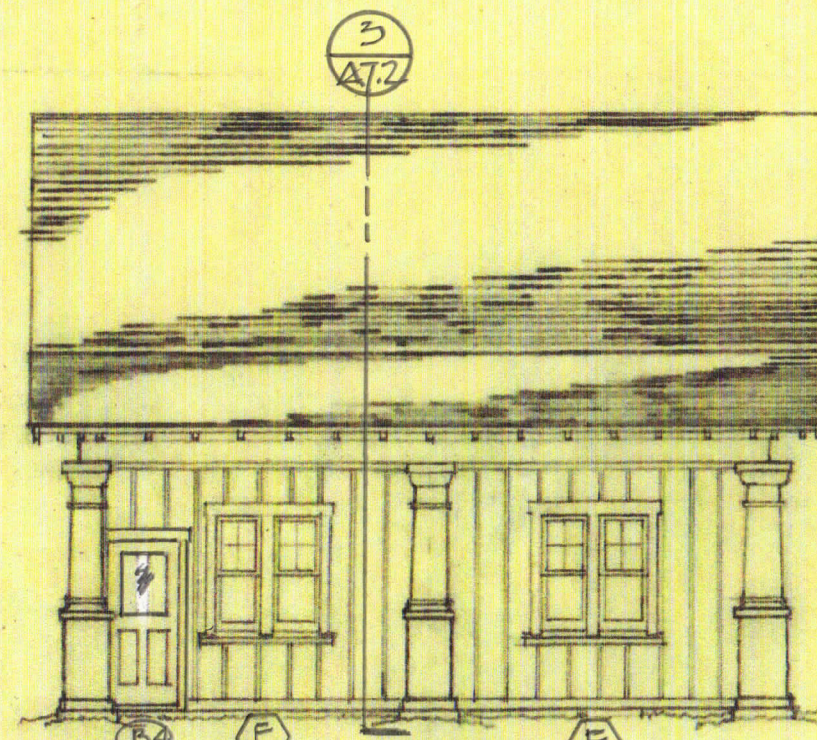
EAVE
14'-0"

PANEL BREAK
10'-0"

FIN FL
0'



1 SOUTH ELEV. - BARN
A6.4 1/8" = 1'-0"



3 NORTH ELEV. - BARN
A6.4 1/8" = 1'-0"

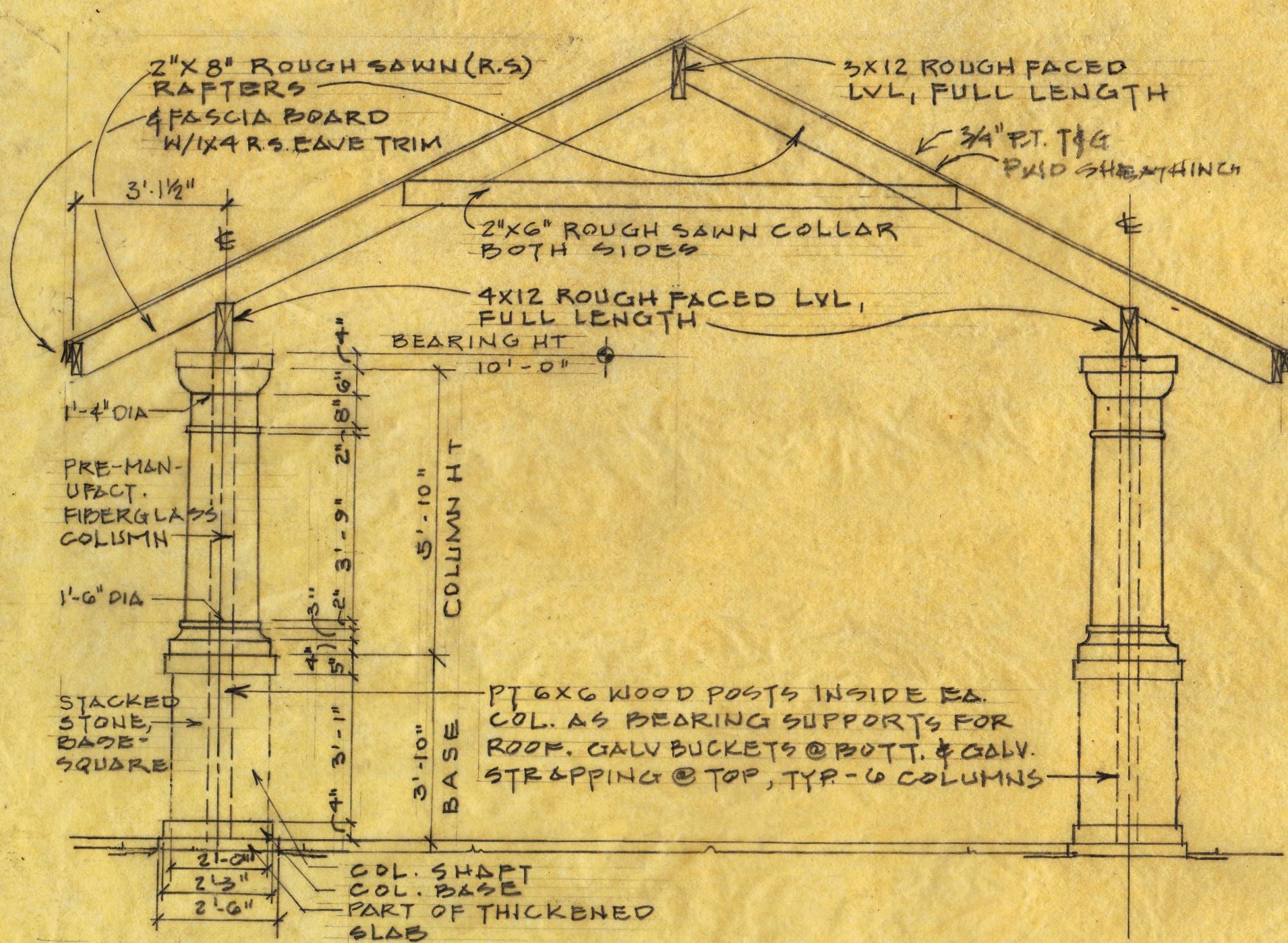
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BARN ELEV. - N, S & W

A6.4



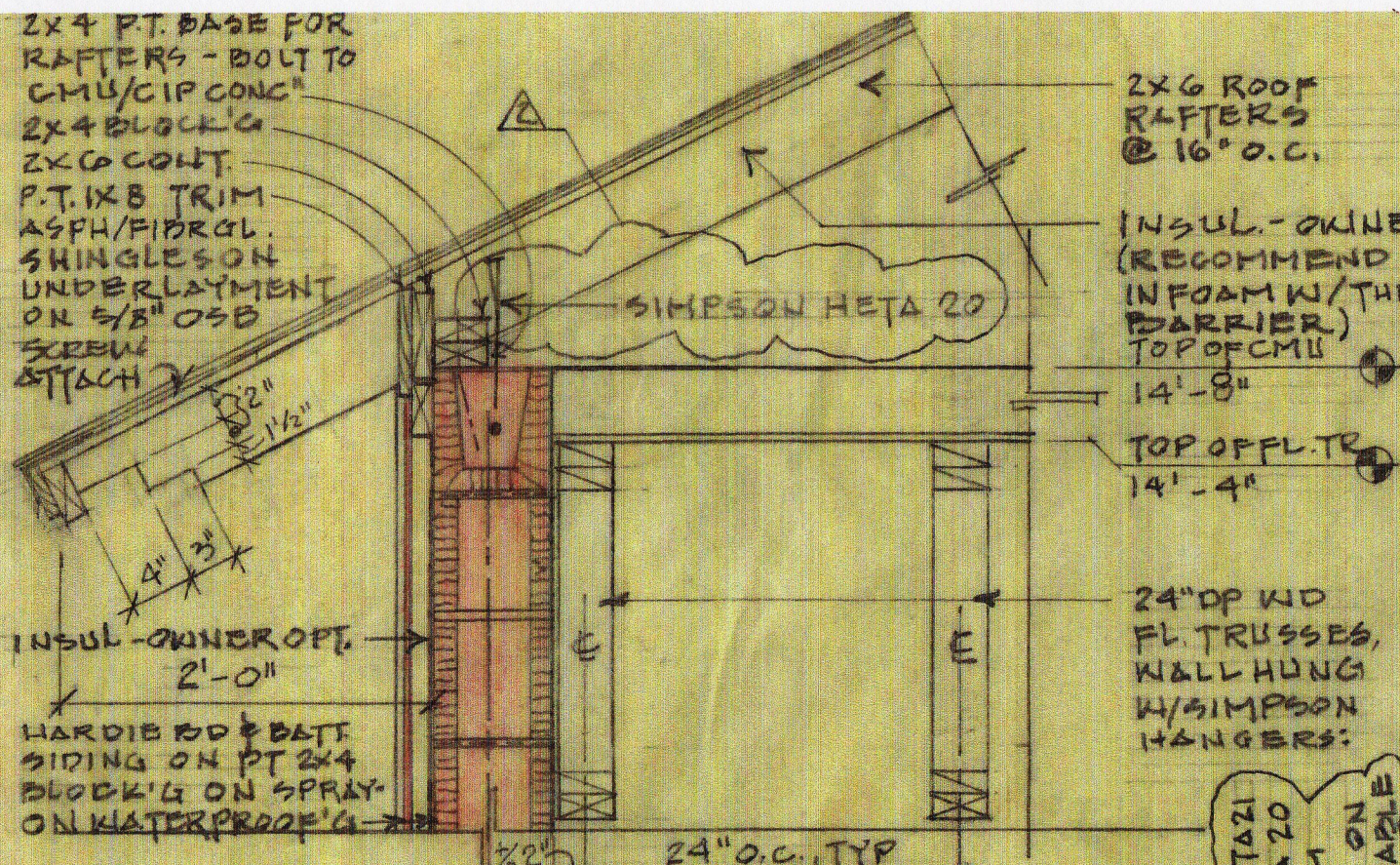
1 PAVILION BLDG SECTION
A7.1 3/8" = 1'-0"

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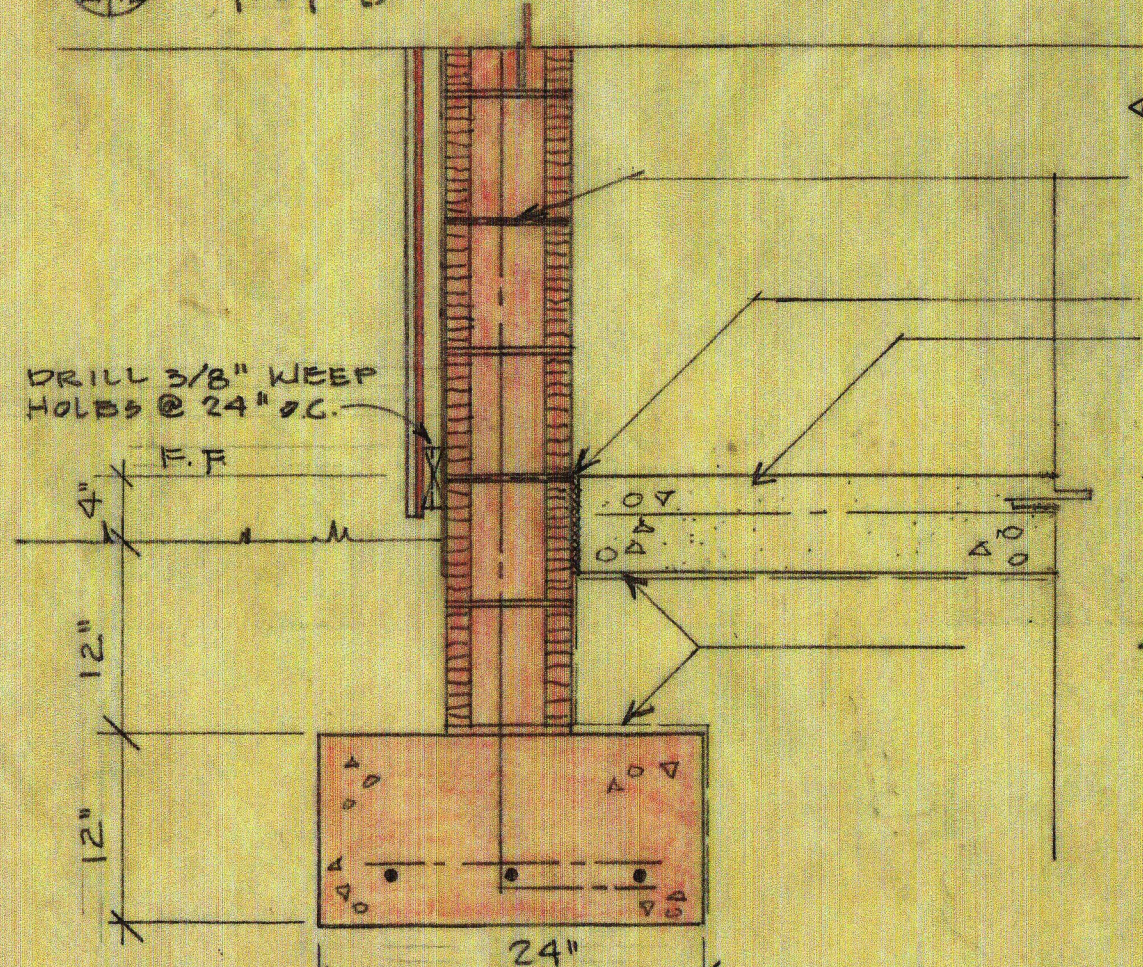
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PAVILION - WALL SECTION

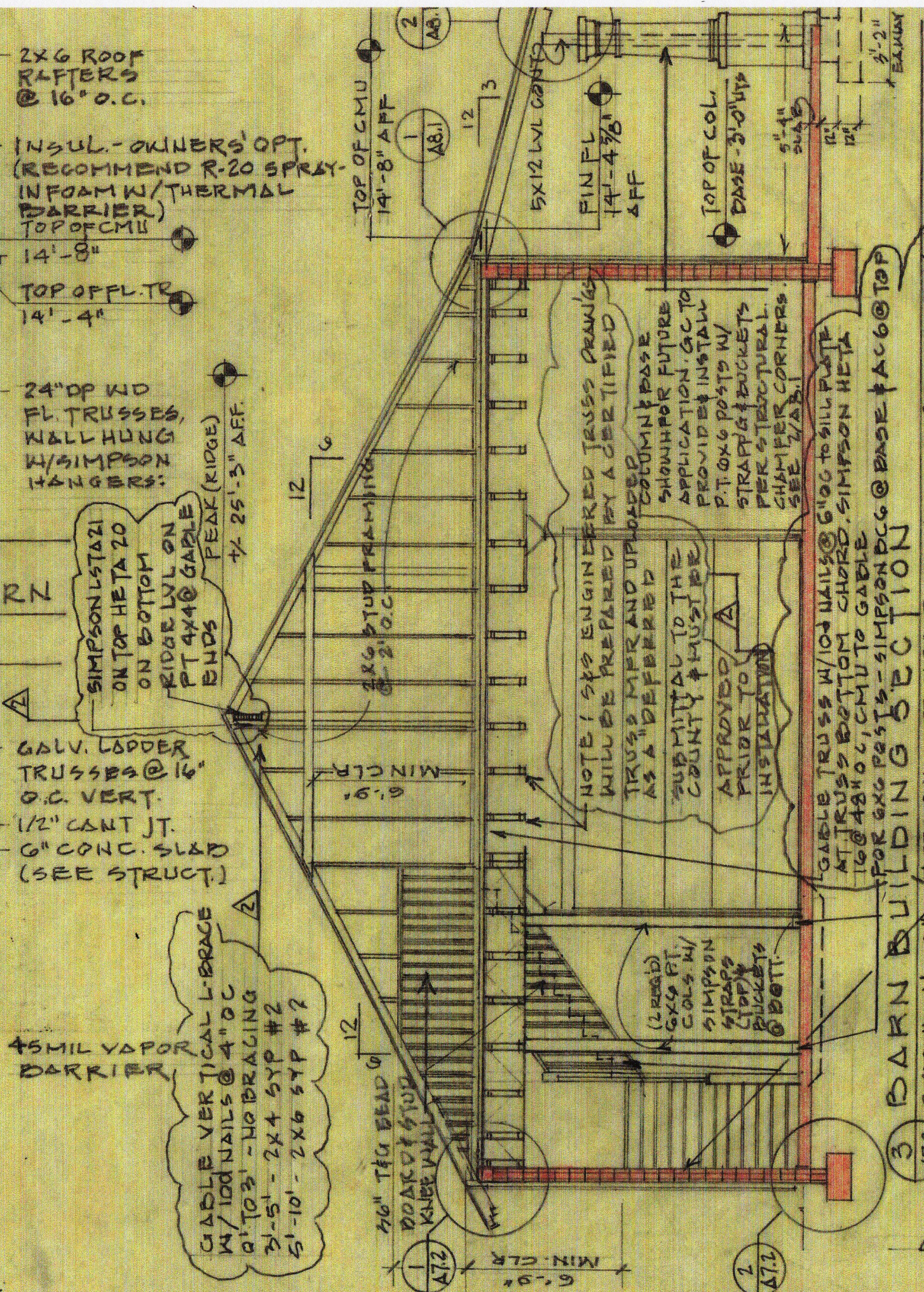
A7.1



1 SECTION @ SOUTH EAVE - BARN
1" = 1'-0"



2 BARN - SECTION @ FOUND. - E, S & W
1" = 1'-0"



3 BARN BUILDING SECTION
3/16" = 1'-0"

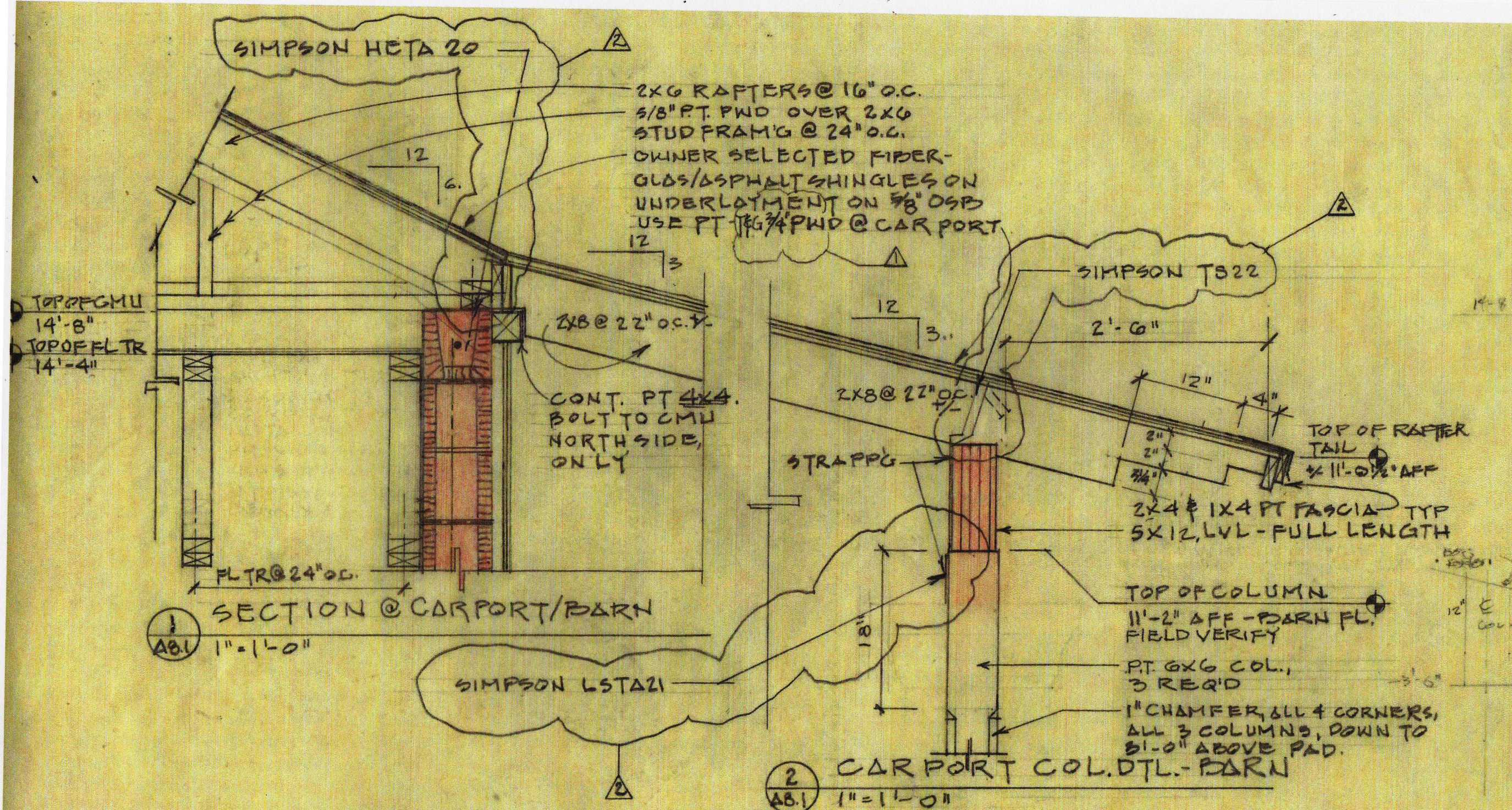
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KITCHEN PAVILION AND GARAGE
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GARAGE - WALL SECTIONS

A7.2

REV. 9.26.22



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 407.901.8796 MILZARCH@GMAIL.COM
 LICENSE # AF0508314

BARN - ROOF/WALL DTLS

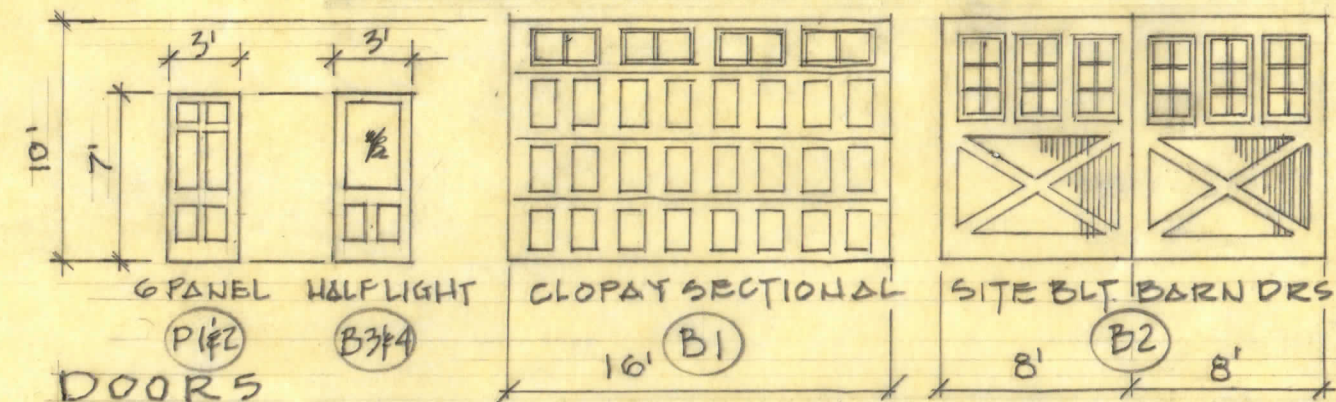
A8.1

REV. 6.27.22
 REV. 9.26.22

DOOR SCHEDULE

ROOM NAME	SYMBOL	FRAME				DETAILS			REMARKS
		TYPE	MAT'L	WIDTH	HEIGHT	THICK-NESS	MAT'L	TYPE	
Bathroom - Pavilion	P1	A	FGL	3'-0"	7'-0"	1 1/4"	WD	PRE-HUNG	WITH TRANSOM AS SHOWN IN WINDOW TYPES
Storage - Pavilion	P2	A	FGL	3'-0"	7'-0"	1 1/4"	WD	PRE-HUNG	WITH TRANSOM AS SHOWN IN WINDOW TYPES
SECTIONAL GARAGE DOOR - BARN	B1	C	STL	16'	10'		STL	CHANNEL	CLOPAY - SEE SPEC SECTIONAL GARAGE DOOR W/ GLASS INSERTS AT TOP SECTION & ELECTRIC DOOR OPENER WITH REMOTE. ENGINEERED FOR 140 MPH WINDS. MANUE. TO SUPPLY DETAILS SITE BUILT - ROLLING HARDWARE AND LATCHES - BY OWNER (Tractor Supply)
ROLLING BARN DOOR - BARN	B2	D	WD	PR-8"	10'	1 1/2"	WD	WOOD	
FIRST FLOOR - BARN	B3	B	FGL	3'-4"	6'-8"	1 1/4"	WD	PRE-HUNG	
FIRST FLOOR - BARN	B4	B	FGL	1'-8"	6'-8"	1 1/4"	WD	PRE-HUNG	

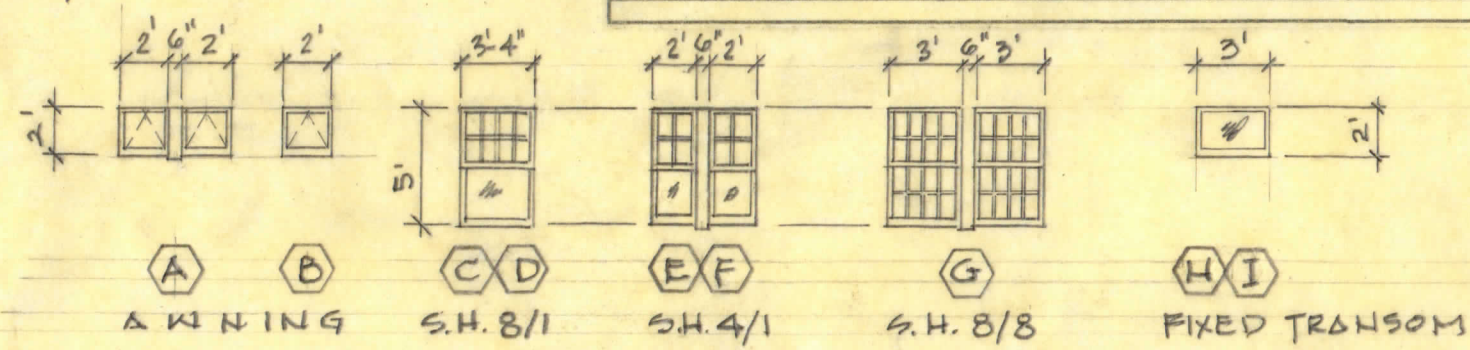
ADDITIONAL NOTES
 1. DOORS DESIGN BASIS THERMA-TRU
 1. HARDWARE TO BE SELECTED BY OWNER
 2. ALL GLASS IN DOORS & TRANSOMS TO BE TEMPERED



WINDOW SCHEDULE

SYMBOL	WINDOW R.O.		TYPE	TRANSOM	STYLE	GLASS/NOTES
	WIDTH	HEIGHT				
A	4'-8"	2'-2"	VINYL	N	HORIZ SL	CLEAR INSULATED GLASS/PAIR/ MARBLE STOOL
B	2'-2"	2'-2"	VINYL	N	HORIZ SL	CLEAR INSULATED GLASS
C	3'-4"	5'-4"	VINYL	N	SH	CLEAR INSULATED GLASS
D	3'-4"	5'-4"	VINYL	N	SH	CLEAR INSULATED GLASS
E	4'-4"	5'-4"	VINYL	N	SH	CLEAR INSULATED GLASS
F	4'-4"	5'-4"	VINYL	N	SH	CLEAR INSULATED GLASS
G	6'-8"	5'-4"	VINYL	N	SH	CLEAR INSULATED GLASS/ PAIR
H	3'-0"	2'-0"	VINYL	Y	FIXED	CLEAR INSULATED GLASS/ TEMPERED
I	3'-0"	2'-0"	VINYL	Y	FIXED	CLEAR INSULATED GLASS/TEMPERED

ADDITIONAL NOTES
 1. VERIFY ALL OPENING SIZES PRIOR TO ORDERING WINDOWS
 2. WINDOW MFR. DESIGN BASIS: PLY GEM WINDOWS, SERIES 1500 SINGLE HUNG (UNO) John Clementson 407.947.9878
 3. WINDOW CONTRACTOR TO PROVIDE SHOP DRAWINGS AND INSTALLATION INSTRUCTIONS



WINDOWS

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DOOR & WINDOW SCHED

A9.1

GENERAL STRUCTURAL NOTES

CAST IN PLACE REINFORCED CONCRETE

- 1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 2500 PSI (SLABS) 3000 PSI (COLUMNS AND BEAMS), A SLUMP OF 5" PLUS OR MINUS 1", AND HAVE 2 TO 5% AIR ENTRAINMENT, AND A MAXIMUM WATER/CEMENT RATIO OF 0.63
- 2. HOOKS SHALL BE PROVIDED AT DISCONTINUOUS ENDS OF ALL TOP BARS OF BEAMS.
- 3. HORIZONTAL FOOTING BARS SHALL BE BENT 1'-0" AROUND CORNERS OR CORNER BARS WITH A 2'-0" LAP PROVIDED.
- 4. CONCRETE COVER MIN. 3" WHEN EXPOSED TO EARTH OR 1 1/2" TO FORM U.N.O.
- 5. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185/ A185M-07. WWF SHALL BE LAPPED AT LEAST 6" AND CONTAIN AT LEAST ONE CROSS WIRE WITHIN THE 6". POLYPROPYLENE FIBERS FOR SLABS ON GRADE TO BE MIN 1.5 LBS OF FIBER PER CUBIC YARD
- 6. ALL REINFORCING STEEL / STIRRUPS AND TIES SHALL BE NEW DOMESTIC DEFORMED BARS FREE FROM RUST, SCALE & OIL & SHALL MEET ASTM A615/ A185M-04A GRADE 40 U.N.O. REINFORCING FOR FOOTING SHALL BE SUPPORTED ON PRE-CAST CONCRETE PADS, TOP REINFORCING SHALL BE POSITIVELY SUPPORTED BY TEMPORARY STRINGERS. DOWELS FOR COLUMNS & FILLED CELLS SHALL BE SECURED IN PLACE BY USING ADDITIONAL CROSSES. REINFORCING TIED TO FOOTING REINFORCING. SPLICES IN REINFORCING WHERE PERMITTED SHALL BE AS PER DETAIL MS05.
- 7. SIMPSON HIGH STRENGTH EPOXY-TIE ANCHORING ADHESIVE WAS USED IN THE DESIGN OF THIS PRODUCT. IF CONTRACTORS WISH TO USE A DIFFERENT EPOXY, THEY MUST FIRST CONTACT THE ENGINEER OF RECORD FOR WRITTEN APPROVAL.
- 8. WHERE PROJECT IS TO BE LOCATED IN KNOWN RADON GAS PREVALENT AREAS, APPENDIX "F" OF THE 2014 FLORIDA RESIDENTIAL BUILDING CODE IS TO BE IMPLEMENTED. F303.4 CONCRETE STRENGTH IN THESE AREAS ARE TO BE A MINIMUM OF 3000 P.S.I. THEREFORE, ANY AND ALL NOTES ON THESE PLANS THAT INDICATE 2500 P.S.I. SHALL BE REPLACED WITH 3000 P.S.I. FOR THE CONCRETE STRENGTH.

MASONRY

- 1. HOLLOW LOAD BEARING UNITS SHALL BE NORMAL WEIGHT, CONFORMING TO ASTM C90-14, WITH A MINIMUM NET COMPRESSIVE STRENGTH OF 2000 PSI (f_m = 2000 PSI)
- 2. MORTAR SHALL BE TYPE "S", CONFORMING TO ASTM C270-12A.
- 3. COARSE GROUT SHALL CONFORM TO ASTM C476 WITH A MAXIMUM AGGREGATE SIZE OF 3/8" AND A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 3000 PSI SLUMP 8" TO 11". CONTINUOUS MASONRY INSPECTIONS ARE REQUIRED DURING CONSTRUCTION
- 4. VERTICAL REINFORCEMENT SHALL BE AS NOTED ON THE DRAWINGS WITH THE CELLS FILLED WITH COARSE GROUT.
- 5. VERTICAL REINFORCEMENT SHALL BE HELD IN POSITION AT THE TOP AND BOTTOM AND AT A MAXIMUM SPACING OF 192 DIA OR 10FT WHICH EVER IS LESS. REINFORCING SHALL BE PLACED IN THE CENTER OF THE MASONRY CELL WITH MIN 1/2" CLEARANCE TO INSIDE FACE.
- 6. REINFORCING STEEL SHALL BE LAPPED PER ACI, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- 7. GROUT STOPS SHALL BE PROVIDED BELOW BOND BEAM. PLASTIC SCREEN, METAL LATH STRIP OR CAVITY CAPS MAY BE USED TO PREVENT THE FLOW OF GROUT INTO CELLS BELOW. THE USE OF FELT PAPER AS A STOP IS PROHIBITED.
- 8. TEMPORARY BRACING AND SHORING OF WALL TO PROVIDE STABILITY DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR
- 9. TYPICAL FILLED CELL REINFORCING SIZE AND SPACING SHALL BE ABOVE AND BELOW ALL WALL OPENINGS
- 10. DO NOT APPLY UNIFORM LOADS TO MASONRY WALLS FOR (3) DAYS AND NO CONCENTRATED LOADS FOR (7) DAYS. PER CODE ACI 318
- 11. DURING CONCRETE POURS, THE CONTRACTOR TO ADEQUATELY VIBRATE THE FILLED CELL WITH EITHER RODDING OR PENCIL VIBRATOR TO ENSURE PROPER CONCRETE CONSOLIDATION

WOOD CONSTRUCTION

- 1. ALL EXTERIOR WOOD STUD WALLS, BEARING WALLS, SHEAR WALLS AND MISC. STRUCTURAL WOOD FRAMING MEMBERS, (I.E. BLOCKING OR GABLE END BRACING) SHALL BE EITHER #1 SOUTHERN PINE, OR S.P.F. NUMBER 2 GRADE OR BETTER SHALL BE USED REGARDLESS OF SPECIES.
- 2. ALL LUMBER SPECIFIED ON DRAWINGS ARE INTENDED FOR DRY USE ONLY (MOISTURE CONTENT 19% OR LESS), U.N.O. ALL WATERPROOFING AND FIRE SAFETY SYSTEMS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND ARE TO BE DESIGNED AND DETAILED BY OTHERS
- 3. ANY WOOD FRAME INTERIOR BEARING WALL STUDS THAT HAVE HOLES IN THE CENTER OF THE STUD UP TO 1" DIA. SHALL HAVE STUD PROTECTION SHIELDS. ALL HOLES OVER 1" IN DIA. FOR PLUMBING LINES, ETC. SHALL BE REPAIRED WITH SIMPSON H952 STUD SHOES, TYP., U.N.O.
- 4. MANY OF THE NEW PRESSURE TREATED WOODS USE CHEMICALS THAT ARE CORROSIVE TO STEEL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE TYPE OF WOOD TREATMENT AND TO SELECT APPROPRIATE CONNECTORS THAT RESIST CORROSION. FOR EXAMPLE, ACQ-C, ACQ-D, CBA-A OR CA-B REQUIRE HOT-DIPPED GALVANIZED OR STAINLESS STEEL FASTENERS. DOT SODIUM BORATE (SBX) DOES NOT.
- 5. ALL EXPOSED WOOD OR WOOD IN CONTACT WITH EARTH OR CONCRETE TO BE PRESSURE TREATED.
- 6. UNTREATED WOOD SHALL NOT BE IN DIRECT CONTACT WITH CONCRETE OR MASONRY. SEAT PLATES SHALL BE PROVIDED AT BEARING LOCATIONS WITHOUT WOODEN TOP PLATES.
- 7. SEE PLAN FOR STUD PACK AND BEAM NAILING PATTERNS
- 8. ALL ENGINEERING LUMBER TO HAVE THE FOLLOWING MIN VALUES U.N.O. COLUMNS: 2.0E F_b = 2950 BEAMS: 2.0E F_b = 2950
- 9. SEE PLAN NOTE FOR ADDITIONAL ROOF, WALL, SHEAR WALL AND FLOOR SHEATHING REQUIREMENTS ALONG W/ NAILING INFORMATION OTHERWISE: ROOF DECK: PLYWOOD C-C/C-D, EXTERIOR OR OSB FLOOR SHEATHING: T&G A-C GROUP 1 APA RATED (48/24) WALL SHEATHING: PLYWOOD C-C/C-D EXTERIOR OR OSB

STRUCTURAL STEEL

- 1. MATERIAL SPECIFICATIONS: WIDE FLANGE SECTIONS: ASTM A992, GRADE 50, F_y=50 KSI TUBE STEEL (HSS): ASTM A500, GRADE B, F_y = 46 KSI PIPE STEEL: ASTM A53, TYPE E OR S, F_y = 35 KSI ALL OTHER STRUCTURAL & MISC. STEEL: A36 F_y=36 KSI STRUCTURAL CONNECTIONS: ALL STRUCTURAL BOLTS TO BE A325N U.N.O STRUCTURAL BOLTS SMALLER THAN 5/8" DIA. TO BE A307 THREADED ROD SHALL CONFORM TO A36 OR A307 ANCHOR BOLTS SHALL CONFORM TO ASTM F1554 ALL BOLTS CAST IN CONCRETE: ASTM A36 OR ASTM A-307 SHOP AND FIELD WELDS: E70XX ELECTRODES STEEL REINFORCEMENT SHOP DRAWINGS TO BE PROVIDED TO ENGINEER OF RECORD BEFORE FABRICATION FOR REVIEW AND APPROVAL

PRE ENGINEERED WOOD TRUSSES

- 1. ALL PREFABRICATED WOOD TRUSSES SHALL BE SECURELY FASTENED TO THEIR SUPPORTING WALLS OR BEAMS WITH HURRICANE CLIPS OR ANCHORS PER STRUCTURAL PLAN
- 2. PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE LATEST EDITION OF THE "NATIONAL DESIGN SPECIFICATION FOR STRESS-GRADE LUMBER AND ITS FASTENERS" AS RECOMMENDED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
- 3. TRUSS MEMBERS AND CONNECTIONS SHALL BE PROPORTIONED (WITH A MAXIMUM ALLOWABLE STRESS INCREASE FOR LOAD DURATION OF 25%) TO WITHSTAND THE LIVE LOADS GIVEN IN THE NOTES AND TOTAL DEAD LOAD.
- 4. BRIDGING FOR PRE-ENGINEERED TRUSSES SHALL BE AS REQUIRED BY THE TRUSS MANUFACTURER UNLESS NOTED ON THE PLANS.
- 5. TRUSS ELEVATIONS AND SECTIONS ARE FOR GENERAL CONFIGURATION OF TRUSSES ONLY. WEB MEMBERS ARE NOT SHOWN, BUT SHALL BE DESIGNED BY THE TRUSS MANUFACTURER IN ACCORDANCE WITH THE FRAMING DESIGN LOADS:
- 6. DESIGN SPECIFICATIONS FOR LIGHT WEIGHT METAL PLATE CONNECTED WOOD TRUSSES PER THE TRUSS PLATE INSTITUTE TPI LATEST EDITION.
- 7. PRE-ENGINEERED WOOD TRUSSES SHALL BE DESIGNED BY THE MANUFACTURER IN ACCORDANCE WITH SPECIFIED LOADS AND GOVERNING CODES. SUBMITTALS SHALL INCLUDE TRUSS FRAMING PLANS AND DETAILS SHOWING MEMBER SIZES, BRACING, ANCHORAGE, CONNECTIONS, TRUSS LOCATIONS, AND PERMANENT BRACING AND/OR BRIDGING AS REQUIRED FOR ERECTION AND FOR THE PERMANENT STRUCTURE. EACH SUBMITTAL SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED STRUCTURAL ENGINEER. SUBMIT 3 COPIES FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- 8. THE TRUSS MANUFACTURER SHALL DETERMINE ALL SPANS WORKING POINTS, BEARING POINTS, AND SIMILAR CONDITIONS. TRUSS SHOP DRAWINGS SHALL SHOW ALL TRUSSES, ALL BRACING MEMBERS, AND ALL TRUSS TO TRUSS HANGERS.

UPLIFT CONNECTORS

- 1. UPLIFT CONNECTORS SUCH AS HURRICANE CLIPS, TRUSS ANCHORS AND ANCHOR BOLTS ARE ONLY REQUIRED ON MEMBERS IN WALLS THAT ARE EXPOSED TO UPLIFT OR LATERAL FORCES. INTERIOR LOAD BEARING WALLS ARE NOT ALWAYS EXPOSED TO UPLIFT FORCES. THE MEMBERS OF THESE WALLS WOULD NOT NEED TO HAVE CONNECTORS APPLIED. PLEASE COORDINATE THE TRUSS ENGINEER FOR THE LOCATION OF THESE WALLS AND STRUCTURAL PLANS FOR MORE INFO.

FIELD REPAIR NOTES

- 1. MISSED "J" BOLTS FOR WOOD BEARING WALLS MAY BE SUBSTITUTED WITH 1/2" DIA. EPOXY ANCHORS WITH 7" EMBEDMENT. SIMPSON "SET" EPOXY ADHESIVE BINDER FOLLOWING ALL MANUFACTURER'S RECOMMENDATIONS OR SIMPSON 1/2" TITEN HD BOLTS WITH MINIMUM 7" EMBEDMENT. SEE PLAN FOR EMBEDMENT DEPTH AT FLOOR STEPS.
- 2. FOR MISSED VERT. DOWELS, DRILL A 3/4" DIAMETER HOLE 6" DEEP AT THE LOCATION OF THE OMITTED REBAR AND INSTALL A 32" LONG #5 BAR INTO THE EPOXY FILLED HOLE. USE A TWO PART EMBEDMENT EPOXY (SIMPSON HIGH STRENGTH EPOXY-TIE ANCHORING ADHESIVE) MIXED PER THE MANUFACTURER'S INSTRUCTIONS. ASSURE THAT ALL DUST AND DEBRIS FROM DRILLING ARE REMOVED FROM THE HOLE BY BRUSHING AND USING COMPRESSED AIR PRIOR TO APPLYING THE EPOXY. ALLOW THE EPOXY TO CURE TO THE MANUFACTURER'S SPECIFICATIONS, THEN FILL THE CELL IN THE NORMAL WAY DURING BOND BEAM POUR.
- 3. FOR MORTAR JOINTS LESS THAN 1/4", PROVIDE (1) #5 VERT. IN CONC. FILLED CELL EACH SIDE OF THE JOINT (BAR DOES NOT HAVE TO BE CONT. TO FOOTING).
- 4. MISSED LINTEL STRAPS FOR MASONRY CONSTRUCTION MAY BE SUBSTITUTED WITH (1) SIMPSON MTSM16 TWIST STRAP W/ (4) 1/4"x 2 1/4" TITENS TO MASONRY AND (7)-10d NAILS TO TRUSS FOR UPLIFTS LESS THAN 860 LBS (USE (2) MTSM16 FOR UPLIFTS LESS THAN 1720#). IF CORNER STRAP IS MISSED CONTRACTOR TO INSTALL (2) SIMPSON HGAM10 W/ (4) 1/4" x 1 1/2" SDS SCREWS AND (5) 1/4" x 2 1/4" TITENS ONE EACH SIDE OF TRUSS. NO MORE THAN 10 STRAPS MAY BE SUBSTITUTED OR NO MORE THAN 3 IN A ROW WITHOUT APPROVAL FROM EOR. IF GIRDER TRUSS CONNECTIONS ARE MISSED, CONTACT THE EOR FOR SUBSTITUTION. IF MISSED, MSTAM36 OR MSTAM40 STRAP IS MISSED FOR 2ND FLOOR JAMB STUD CONNECTION, CONTRACTOR MAY INSTALL SIMPSON HTTS W/ (26) 16d x 2 1/2" NAILS AND 5/8" ANCHOR BOLT SET IN SIMPSON HIGH STRENGTH EPOXY W/ MIN 6" EMBEDMENT AND MIN 3" EDGE DISTANCE. CONTACT EOR IF STRAPS ARE MISSED UNDER GIRDER JAMB STUD LOCATIONS.
- 5.

STRUCTURAL DESIGN CRITERIA

CODE CRITERIA

- FLORIDA RESIDENTIAL BUILDING CODE 7th EDITION (2020)
- FLORIDA FIRE PREVENTION CODE (2020)
- FLORIDA ACCESSIBILITY CODE 7th EDITION (2020)
- NFPA 70-14. NATIONAL ELECTRICAL CODES.
- BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE - (ACI 318-14)
- SPECIFICATIONS FOR STRUCTURAL CONCRETE BUILDINGS - (ACI 301-14)
- BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES - (TMC 402-2016)
- NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION - NDS-2018
- WOOD FRAMED CONSTRUCTION MANUAL 2015 EDITION.
- APA PLYWOOD DESIGN SPECIFICATION
- AMERICAN SOCIETY OF CIVIL ENGINEERS: ASCE/SEI 7-16
- ALUMINUM DESIGN MANUAL - 2010 EDITION
- SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS - (AISC 360 -10)

SEE SHEET A0.0
FOR UPDATED
CODE REFERENCES



GENERAL ROOF LOADING

	SHINGLE ROOF (PSF)	METAL ROOF (PSF)	TILE ROOF (PSF)	HEAVY ROOF (PSF)
TOP CHORD LL	20	20	20	20
TOP CHORD DL	10	10	15	25
BOTTOM CHORD LL*	0	0	0	0
BOTTOM CHORD DL	10	10	10	10
TOTAL (PSF)	40	40	45	55
BOTTOM CHORD LL (OPT)				
ATTICS W/ LIMITED STORAGE	20			
ATTICS W/ HEAVY STORAGE	50			
* ATTICS W/ NO STORAGE (NON-CONCURRENT)	10			

NOTE: LL REDUCTIONS ARE ALLOWED PER CODE BUT ONLY WITH WRITTEN APPROVAL FROM EOR OR INDICATED ON PLAN

DEFLECTION CRITERIA

ROOF TRUSSES*	LL/240	TL/180	COMMENTS:
ROOF RAFTERS	LL/240	TL/180	
ROOF RAFTERS (W/O CLG)	LL/240	TL/180	
FLOOR TRUSSES/ BEAMS **	LL/360	TL/240	
FLOOR I-JOIST***	LL/480	TL/240	

*TL MAX 1" UP TO 40FT SPAN
**TL MAX 3/4"
*** TL MAX 1/2"

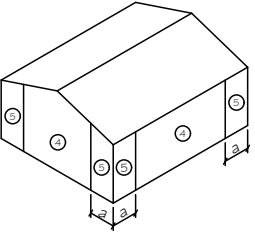
WIND LOADING CRITERIA

WIND SPEED (ULTIMATE)	140 MPH
WIND SPEED (ALLOWABLE)	108 MPH
EXPOSURE CATEGORY	C
BUILDING CATEGORY	II
BUILDING TYPE	V
ENCLOSURE CLASSIFICATION	ENCLOSED
INTERNAL PRESSURE COEFFICIENT	+/- 0.18

NOTE: MEAN ROOF HEIGHT FOR TYPICAL SINGLE STORY HOME IS 15FT, AND FOR 2 STORY HOME IS 30FT

ASCE 7-16 WALL DESIGN ALLOWABLE COMPONENTS AND CLADDING WIND PRESSURES AND SUCTIONS

FOR MEAN ROOF HEIGHT ≤ 60 ft

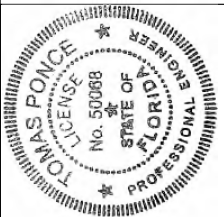
EFFECTIVE WIND AREA (SQ FEET)	WIND PRESSURE AND SUCTION (PSF) (+)VALUE DENOTES PRESSURE (-)VALUE DENOTES SUCTION	WIND PRESSURE AND SUCTION DIAGRAM
AREA	④	⑤
10	(+) 29.6 (-) 32.1	(+) 29.6 (-) 39.6
20	(+) 28.3 (-) 30.8	(+) 28.3 (-) 37.0
50	(+) 26.5 (-) 29.0	(+) 26.5 (-) 33.4
100	(+) 25.2 (-) 27.7	(+) 25.2 (-) 30.8
GARAGE DOORS*		
9'-0" x 7'-0"	(+) 25.9 (-) 29.3	
16'-0" x 7'-0"	(+) 24.8 (-) 27.6	

GENERAL PRESSURE NOTES

NOTES:

- 1. MULTIPLY THE ABOVE PRESSURES BY 1.6 TO GET ULTIMATE WIND PRESSURES

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"THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE - RESIDENTIAL 6th EDITION (2017)"

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Structural Notes/
Wind Pressures

Sheet S1

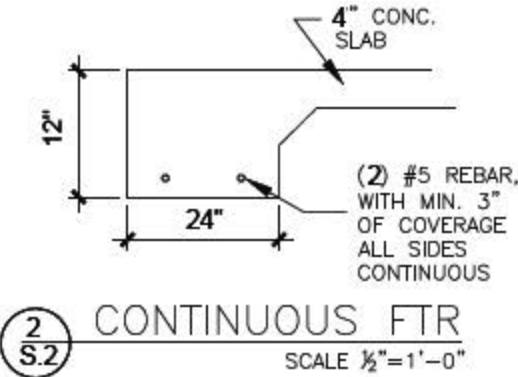
October 21, 2021



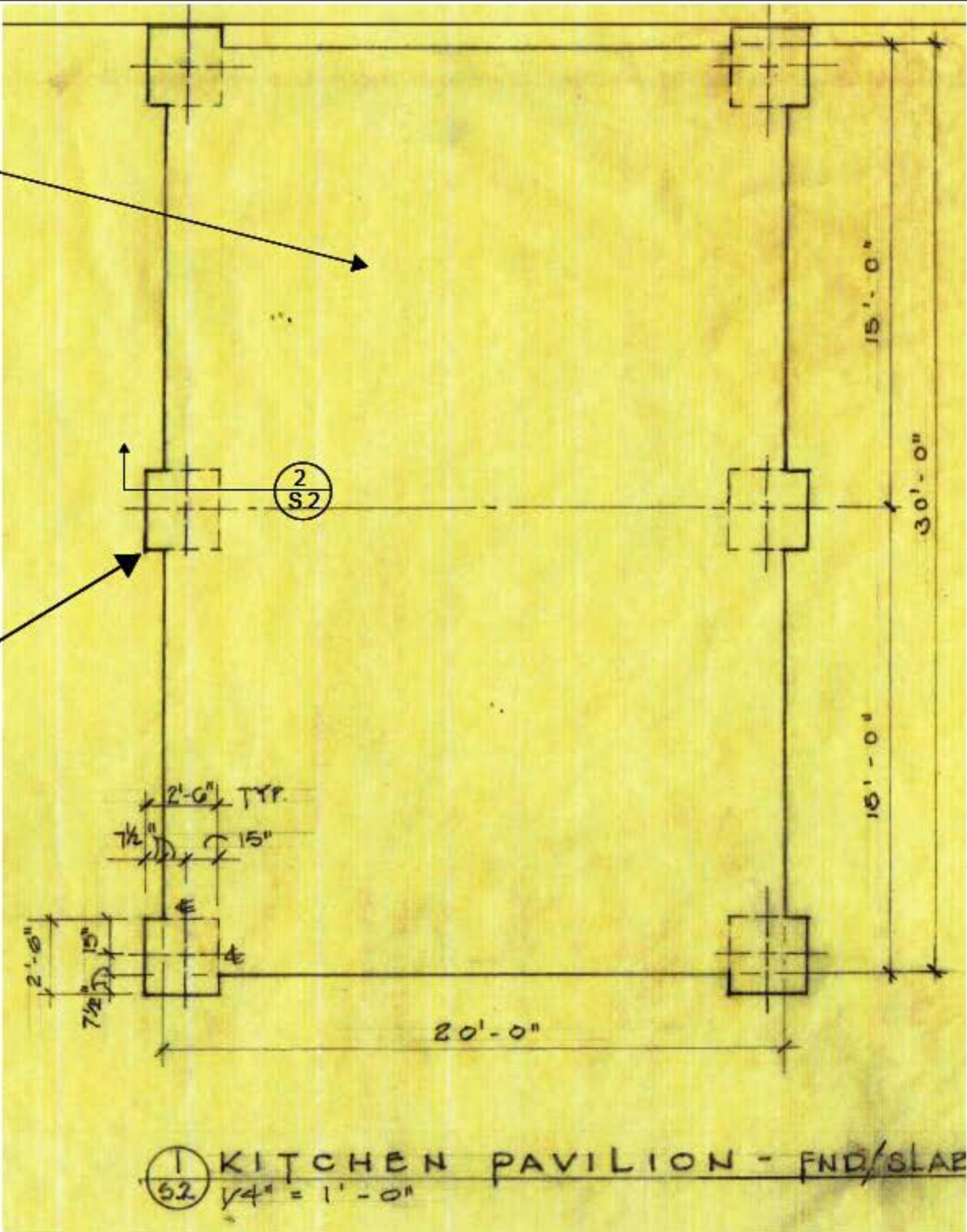
Revisions 9/26/22

4" 2500 PSI CONC. SLAB W/ 6X6 10/10 W W M, OR FIBERMESH /FIBERMIX ADDED TO THE CONCRETE. IN ACCORDANCE W/ MANUP5 INSTRUCTIONS AND NER-284 FOR FIBERMESH OR NER-414 FOR FIBERMIX, OVER 45 mil VISQUEEN VAPOR BARRIER & TREATED FOR TERMITES.

FOUNDATION SCHEDULE				
MARK	SIZE	DEPTH	REINFORCING	GRAVITY CAP. [lbs]
F1.0	1'-0" x CONT.	1'-0"	2 #5 E.W. BOT.	3000
F2.0	2'-0" x 2'-0"	1'-0"	3 #5 E.W. BOT.	7200
F2.5	2'-6" x 2'-6"	1'-0"	3 #5 E.W. BOT.	11000
F3.0	3'-0" x 3'-0"	1'-0"	4 #5 E.W. BOT.	15600



Footing F2.0 (typ)



ROGER AND JUSTINE CASANTE
NEW KITCHEN PAVILION AND GARAGE
2290 EVERLY STREET, OVIEDO FL 32762



THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE - RESIDENTIAL IN DETAIL (2017)

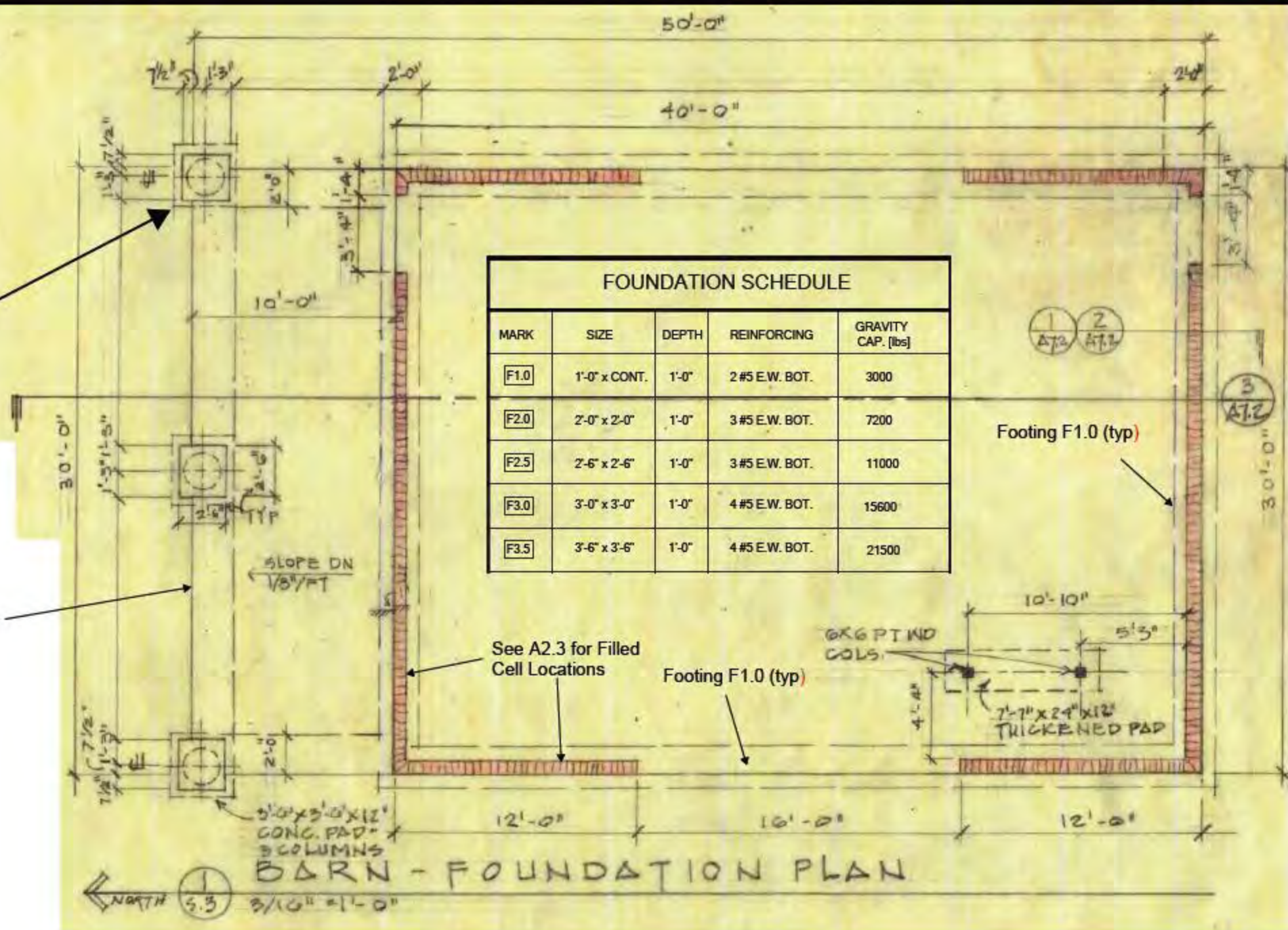
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Footing F3.0 (typ)

Footing F1.0 (typ)



ROGER AND JUSTINE CASANTE
NEW KITCHEN PAVILLION AND GARAGE
2290 EVERLY STREET, OVIEDO FL 32762



THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE
FLORIDA BUILDING CODE - RESIDENTIAL, 6th EDITION (2017)
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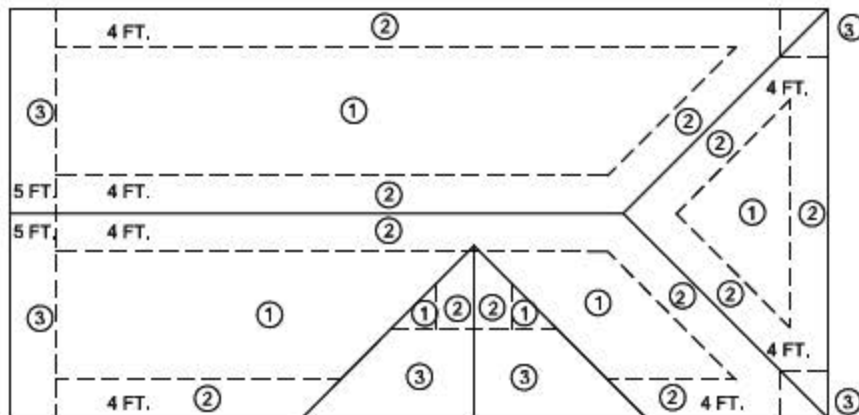
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6" 2500 PSI CONC. SLAB W/ 6X6 10/10 W W M, OR FIBERMESH
/FIBERMIX ADDED TO THE CONCRETE. IN ACCORDANCE W/
MANUF'S INSTRUCTIONS AND NER-284 FOR FIBERMESH OR
NER-414 FOR FIBERMIX, OVER 45 mil VISQUEEN VAPOR BARRIER
• TREATED FOR TERMITES.

Barn Foundation Plan

Sheet S3

November 5, 2021



ROOF NAILING ZONE DIAGRAM

GENERAL CONNECTOR NOTES

1. CONNECT ALL ROOF / FLOOR TRUSSES TO MASONRY WALLS / LINTELS / KCF WALLS W/ (A) CONNECTOR UNO ON PLAN
2. CONNECT ALL TRUSSES TO INTERIOR / EXTERIOR BEARING WOOD WALLS / BEAMS W/ (C) CONNECTOR UNO ON PLAN
3. CONNECT ALL TYPICAL HP JACK (CORNER JACK) TO MASONRY WALLS / LINTELS / KCF WALLS W/ (A) CONNECTOR
- IF WOOD WALL OR BEAM USE (D) CONNECTORS UNO ON PLAN
4. CONNECT ALL FLOOR TRUSSES TO INTERIOR BEARING WOOD WALLS / BEAMS W/ (3) 16D TOENAILS
5. ALL TRUSS TO TRUSS CONNECTIONS ARE TO BE PROVIDED BY TRUSS MANUFACTURER UNO ON PLAN

CONNECTOR SCHEDULE

MARK	SIMPSON CONNECTOR W/ FASTENERS	TYPE	SPF	SP
A	HETA18 W/ (8) - 10d x 1 1/2" OPT HETA20 W/ (8) - 10d x 1 1/2"	FRAME TO MASONRY	1810	1810
B	H2.5A W/ (10) - 8d NAILS	FRAME TO FRAME	535	600
C	HT10A W/ (18) - 10d x 1 1/2" HT10A-2 W/ (18) - 10d x 1 1/2" AT 2 PLY TRUSSES	FRAME TO FRAME	1015 1070	1340 1345
D	HT13 W/ (14) - 10d x 1 1/2" INCLUDE (3) 16D TOENAILS AT EXTERIOR LOCATION	FRAME TO FRAME	880	1000
E	MGT W/ (22) - 10d NAILS & 5/8" ATR W/ 5" EMBEDMENT W/ SIMPSON "SET" EPOXY	FRAME TO MASONRY	3140	3140
F	HT820 W/ (24) - 10d x 1 1/2" (AT EXTERIOR LOCATION INCLUDE (3) 16D TOENAILS	FRAME TO FRAME	1245	1450
G	HGT-3 W/ (18) - 10d W/ 5" EMBED (2) - 3/4" DIA. EPOXY ANCHORS. (MGT-3 FOR 3PLY)	FRAME TO MASONRY	6280	6280
H	PGTR W/ (18) SDS 5/8" x 3" WOOD SCREWS AND (2) 1/2" x 5" TITAN HD ANCHOR BOLTS	FRAME TO MASONRY	3600	5600
J	(2) LGT-2 W/ (32) - 16d SHINNERS (1/4" 5/8" x 2 1/4" TITENS (2-PLY TRUSS)	FRAME TO MASONRY	3700	4300
K	(2) LGT-3 W/ (34) SDS 5/8" x 2 1/4" & (8) - 3/4" x 5" TITENS HD'S (3-PLY TRUSS)	FRAME TO MASONRY	5310	7320
L	HJ410 OPT HUC410 (MAY) W/ (18) - 10d & (10) - 10d NAILS	FRAME TO FRAME	Q=2305 U=1805	Q=2820 U=1805
M	HJ410 OPT HUC410 W/ (18) TITEN 1/4" x 2 3/4" & (10) - 10d NAILS	FRAME TO MASONRY		Q=5025 U=1810
N	(2) HETA8 OPT (2) HETA20 1 PLY W/ (18) - 10d x 1 1/2" OR 2 PLY W/ (12) - 16d	FRAME TO MASONRY	2035 2035	2805 2500
O	HT5H18 W/ (18) 10d NAILS AND (4) 1/4" x 2 1/4" TAPCON'S	FRAME TO MASONRY	1020	1175
P	HT10S W/ (18) 8d x 1 1/2" NAILS AND (2) 3/8" x 4" TITAN HD	FRAME TO MASONRY	945	1085
Q	MST27 W/ (30) 16d NAILS	FRAME TO FRAME	3200	3700

ROOF NAILING SCHEDULE:

NAILING ZONES (SHINGLE AND TILE)

ZONE 1: 8d RING SHANK NAILS @ 6" O.C. ON EDGE AND 12" O.C. IN FIELD

ZONE 2: 8d RING SHANK NAILS @ 6" O.C. ON EDGE AND 12" O.C. IN FIELD

ZONE 3: 8d RING SHANK NAILS @ 4" O.C. ON EDGE AND 12" O.C. IN FIELD

(NOTE: IF 5/8" PLYWOOD IS USED, CONTRACTOR MUST USE 16d RING SHANK NAILS)

NOTE:

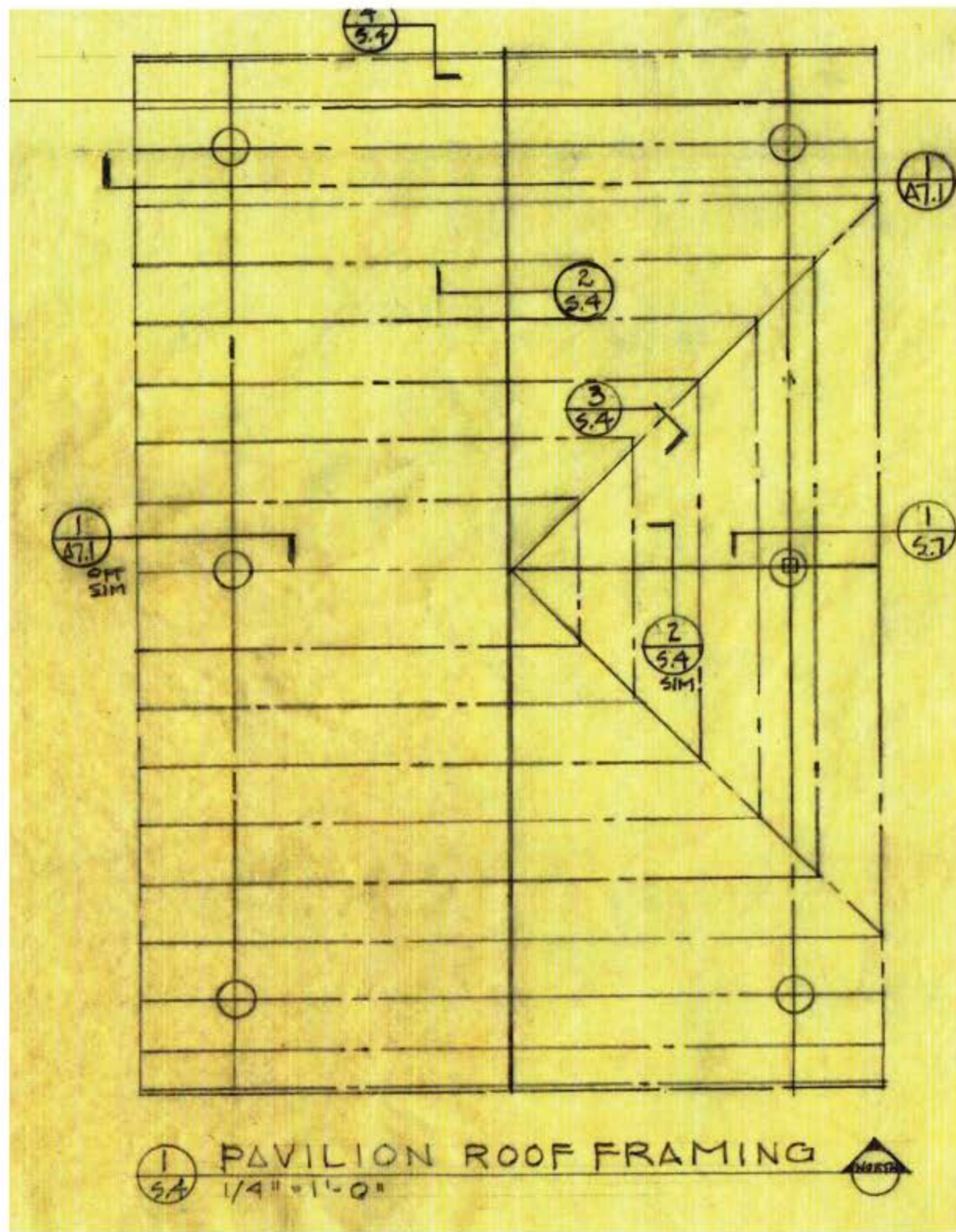
ROOF SHEATHING: (APA RATED EXPOSURE 1) 1/2" PLYWOOD (TILE) OR 7/16" OSB MIN. (SHINGLES) SPAN RATED 24/16

SHEATHING MAY BE INSTALLED VERTICALLY OR HORIZONTALLY, ATTACH PER NAILING SCHEDULE. PANEL EDGES WILL NEED TO BE ATTACHED TO STUD AND OR BLOCKING AT ALL EDGES.

2
S.4

3
S.4

4
S.4



ROGER AND JUSTINE CASANTE
NEW KITCHEN PAVILLION AND GARAGE
2290 EVERLY STREET, OVIEDO FL 32762



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


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Pavilion Roof Framing
Plan
Sheet S4

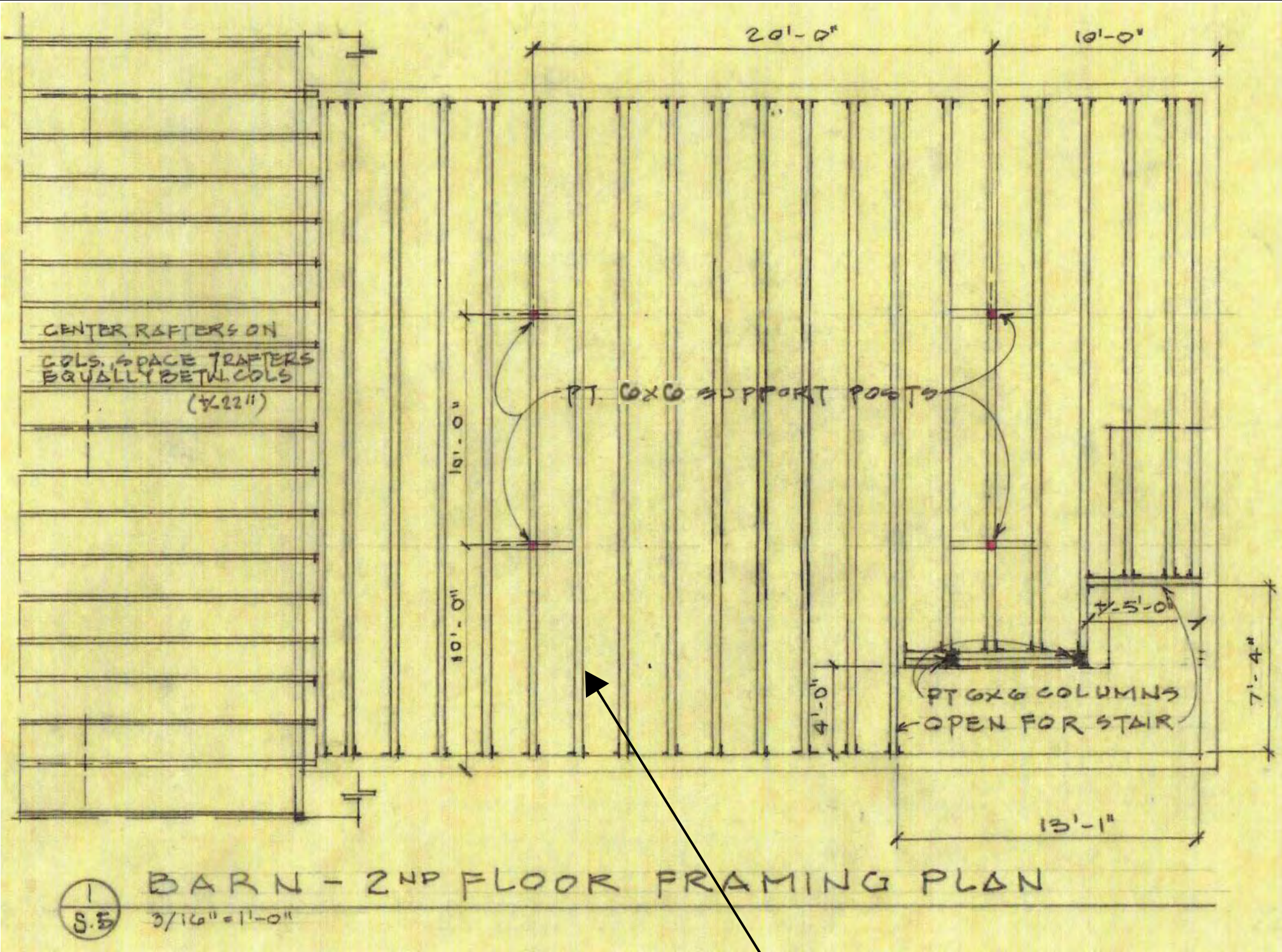
November 5, 2021

GENERAL CONNECTOR NOTES

1. CONNECT ALL ROOF / FLOOR TRUSSES TO MASONRY WALLS/ LINTELS/ ICF WALLS W/  CONNECTOR UNO ON PLAN
2. CONNECT ALL TRUSSES TO INTERIOR/ EXTERIOR BEARING WOOD WALLS/ BEAMS W/  CONNECTOR UNO ON PLAN
3. CONNECT ALL TYPICAL HIP JACK (CORNER JACK) TO MASONRY WALLS/ LINTELS/ ICF WALLS W/  CONNECTOR.
- IF WOOD WALL OR BEAM USE (2)  CONNECTORS UNO ON PLAN.
4. CONNECT ALL FLOOR TRUSSES TO INTERIOR BEARING WOOD WALLS/ BEAMS W/(3)12d TOENAILS.
5. ALL TRUSS TO TRUSS CONNECTIONS ARE TO BE PROVIDED BY TRUSS MANUFACTURER UNO ON PLAN.

CONNECTOR SCHEDULE

MARK 	SIMPSON CONNECTOR W/ FASTENERS	TYPE	SPF	SP
A	HETA16 W/ (9) - 10d x 1 1/2" OPT HETA20 W/ (9) - 10d x 1 1/2"	FRAME TO MASONRY	1810	1810
B	H2.5A W/ (10) - 8d NAILS	FRAME TO FRAME	535	600
C	H10A W/ (18) - 10d x 1 1/2" H10A-2 W/ (18) - 10d x 1 1/2" AT 2 PLY TRUSSES	FRAME TO FRAME	1015 1070	1340 1245
D	MTS12 W/ (14) - 10d x 1 1/2" INCLUDE (3)12d TOENAILS AT EXTERIOR LOCATION	FRAME TO FRAME	860	1000
E	MGT W/ (22) - 10d NAILS & 5/8" ATR W/ 5" EMBEDMENT W/ SIMPSON "SET" EPOXY	FRAME TO MASONRY	3140	3140
F	HTS20 W/ (24) - 10d x 1 1/2" (AT EXTERIOR LOCATION INCLUDE (3)12d TOENAILS	FRAME TO FRAME	1245	1450
G	HGT-2 W/ (16) - 10d W/ 5" EMBED (2) - 3/4" DIA. EPOXY ANCHORS. (HGT-3 FOR 3PLY)	FRAME TO MASONRY	6280	6280
H	FGTR W/ (18)-SDS 1/4" x 3" WOOD SCREWS AND (2) 1/2" x 5" TITAN HD ANCHOR BOLTS	FRAME TO MASONRY	3600	5000
J	(2) LGT-2 W/ (32)-16d SINKERS (14) 1/4" x 2 1/4" TITENS (2-PLY TRUSS)	FRAME TO MASONRY	3700	4300
K	(2) LGT-3 W/ (24) SDS 1/4" x 2-1/4" & (8) - 3/8" x 5" TITENS HD's (3-PLY TRUSS)	FRAME TO MASONRY	5310	7370
L	HU410 OPT HUC410 (MAX) W/ (18)-16d & (10)-10d NAILS	FRAME TO FRAME	G=2305 U=1805	G=2680 U=1895
M	HU410 OPT HUC410 W/ (18) TITEN 1/4" x 2 3/4" & (10)-10d NAILS	FRAME TO MASONRY		G=5085 U=1810
N	(2) HETA16 OPT (2) HETA20 1 PLY W/ (10) - 10d x 1 1/2" OR 2 PLY W/ (12) - 16d	FRAME TO MASONRY	2035 2035	2035 2500
O	HTSM16 W/(8)10d NAILS AND (4) 1/4"x2 1/4" TAPCONS	FRAME TO MASONRY	1020	1175
P	H10S W/(8) 8d X 1 1/2" NAILS AND (2) 3/8"x4" TITAN HD	FRAME TO MASONRY	915	1065
Q	MST27 W/ (30) 16d NAILS	FRAME TO FRAME	3200	3700

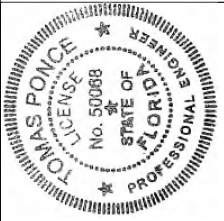


SIMPSON CONNECTORS
POST BASES PPB66-4Z
POST CAPS PC6Z
FLOOR TRUSSES MBHU3.56/16KT to CMU
RAFTER ENDS H10A

24" High Open Web Wood
Floor Joists (typ)

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ROGER AND JUSTINE CASANTE
NEW KITCHEN PAVILLION AND GARAGE
2290 EVERLY STREET, OVIEDO FL 32762



"THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE - RESIDENTIAL 6th EDITION (2017)"
TOMAS PONCE MSCE, PE
FL PE # 50068
367 MEDALLION PL.
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MILZARCH, LLC

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LICENSE #AR0008314.

Barn 2nd Floor
Framing Plan

Sheet S5

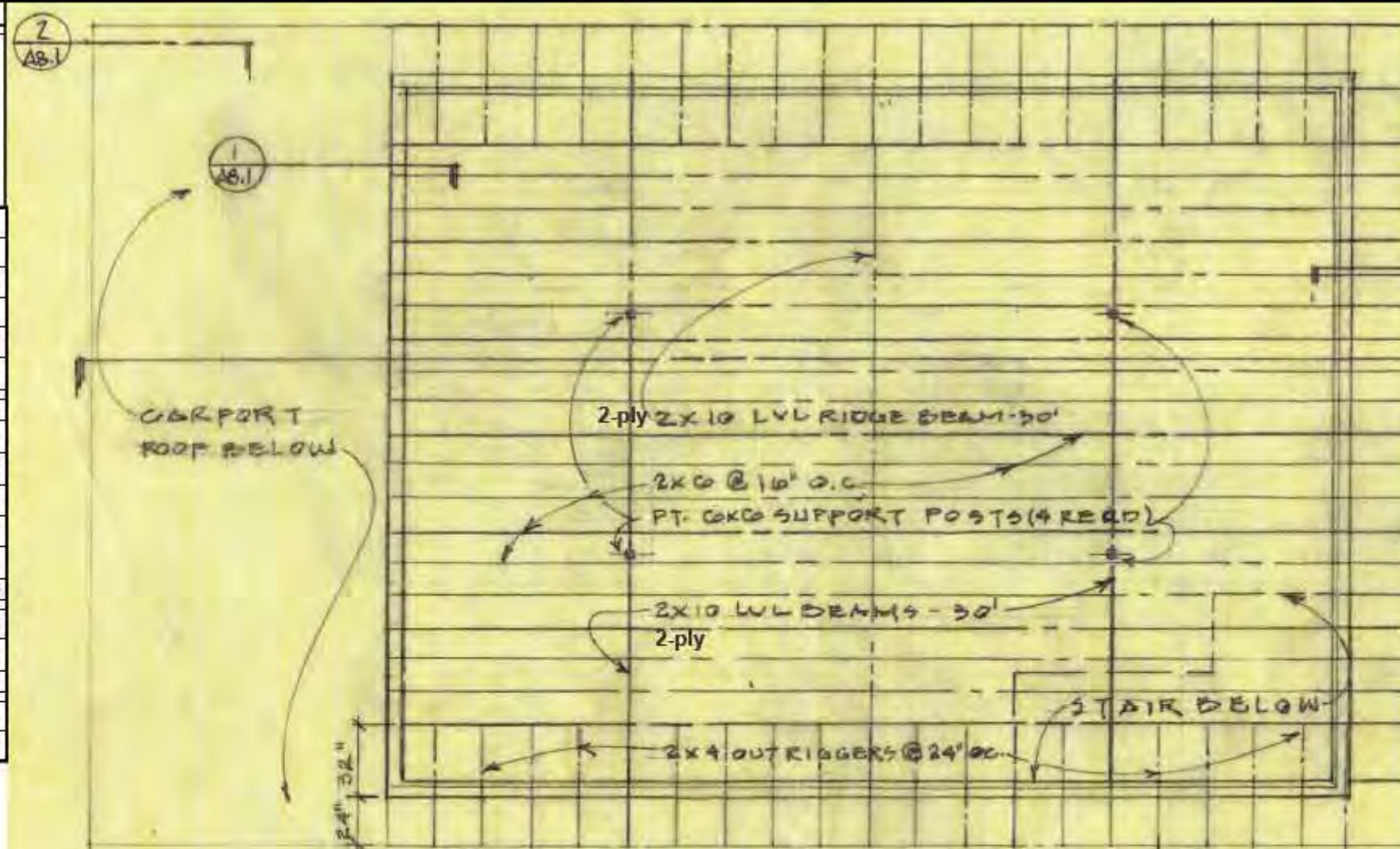
October 11, 2021

GENERAL CONNECTOR NOTES

1. CONNECT ALL ROOF / FLOOR TRUSSES TO MASONRY WALLS / LINTELS / K/F WALLS W/ (A) CONNECTOR UNO ON PLAN
2. CONNECT ALL TRUSSES TO INTERIOR / EXTERIOR BEARING WOOD WALLS / BEAMS W/ (C) CONNECTOR UNO ON PLAN
3. CONNECT ALL TYPICAL WP JACK (DORMER JACK) TO MASONRY WALLS / LINTELS / K/F WALLS W/ (A) CONNECTOR.
4. IF WOOD WALL OR BEAM USE (B) CONNECTORS UNO ON PLAN.
5. CONNECT ALL FLOOR TRUSSES TO INTERIOR BEARING WOOD WALLS / BEAMS W/ (D) TOENAILS
6. ALL TRUSS TO TRUSS CONNECTIONS ARE TO BE PROVIDED BY TRUSS MANUFACTURER UNO ON PLAN.

CONNECTOR SCHEDULE

MARK	SIMPSON CONNECTOR W/ FASTENERS	TYPE	SPF	SP
A	WETA18 W/ (9) - 10d x 1 1/2" OPT WETA20 W/ (9) - 10d x 1 1/2"	FRAME TO MASONRY	1810	1810
B	H2.5A W/ (10) - 8d NAILS	FRAME TO FRAME	535	535
C	H10A W/ (16) - 10d x 1 1/2" H10A-2 W/ (16) - 10d x 1 1/2" AT 2 PLY TRUSSES	FRAME TO FRAME	1010	1340
D	MTS12 W/ (14) - 10d x 1 1/2" INCLUDE (2) 1/4" TOENAILS AT EXTERIOR LOCATION	FRAME TO FRAME	880	1000
E	HGT W/ (22) - 10d NAILS & 5/8" ATH W/ 9" EMBEDMENT W/ SIMPSON "SET" EPOXY	FRAME TO MASONRY	3140	3140
F	H1020 W/ (24) - 10d x 1 1/2" (AT EXTERIOR LOCATION INCLUDE (2) 1/4" TOENAILS	FRAME TO FRAME	1240	1400
G	POST W/ (16) - 10d W/ 9" EMBED (2) - 3/4" DIA. EPOXY ANCHORS (HGT-3 FOR 3PLY)	FRAME TO MASONRY	6380	6380
H	POST W/ (16) - 10d W/ 9" EMBED SCREWS AND (2) 1/2" x 9" TITAN HD ANCHOR BOLTS	FRAME TO MASONRY	5800	5900
J	(2) LST-2 W/ (2) - 10d BRIDERS (14) 1/4" x 2 1/4" TITANS (2-PLY TRUSSES)	FRAME TO MASONRY	3700	4300
K	(2) LST-3 W/ (4) SDS 1/4" x 2-1/4" & (8) - 3/8" x 9" TITANS HD's (3-PLY TRUSSES)	FRAME TO MASONRY	5310	7370
L	HU410 OPT HUC410 (MAX) W/ (16) - 10d & (10) - 10d NAILS	FRAME TO FRAME	Q=2305 U=1825	Q=2880 U=1825
M	HU410 OPT HUC410 W/ (16) TITAN 1/4" x 2 1/4" & (10) - 10d NAILS	FRAME TO MASONRY		Q=2880 U=1810
N	(2) HETA18 OPT (2) HETA20 1 PLY W/ (16) - 10d x 1 1/2" OR 2 PLY W/ (12) - 10d	FRAME TO MASONRY	2035	2035
O	HTM10 W/ 10d NAILS AND (4) 1/4" x 2 1/4" TAPCON'S	FRAME TO MASONRY	1000	1175
P	H100 W/ (8) 8d x 1 1/2" NAILS AND (2) 3/8" x 9" TITAN HD	FRAME TO MASONRY	915	1065
Q	HGT27 W/ (26) 10d NAILS	FRAME TO FRAME	3030	3700



1
S.6 BARN - ROOF FRAMING PLAN
3/16" = 1'-0"

POST BASES PPB66-4Z
POST CAPS PC6Z
LVL END BUCKETS HUCQ410-SDS
RAFTER ENDS H10A

ROGER AND JUSTINE CASANTE
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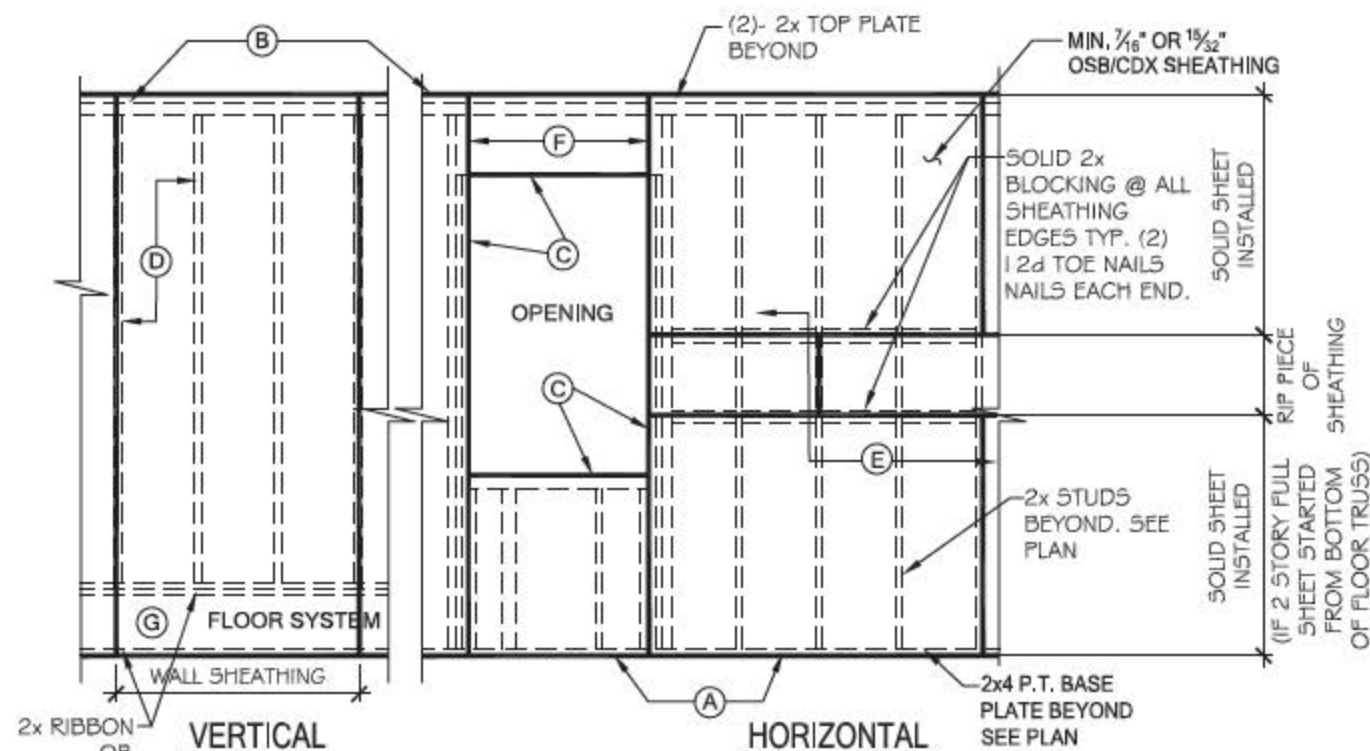
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Barn Roof Framing Plan
Sheet S6

November 5, 2021

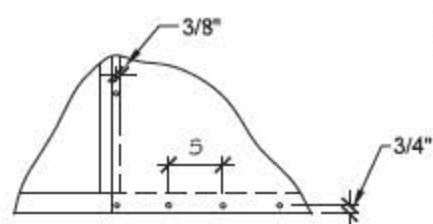


2x RIBBON
OR
BLOCKING
BETWEEN
FLOOR
SYSTEM

VERTICAL

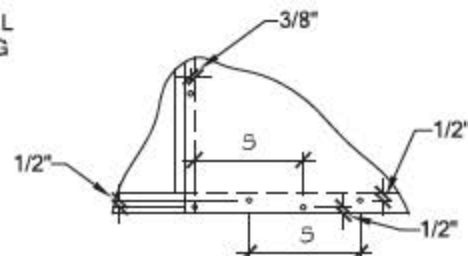
WALL ELEVATION DIAGRAM

HORIZONTAL



SINGLE NAIL EDGE SPACING

"S" = NAIL
SPACING



DOUBLE NAIL EDGE SPACING

- (A) NAIL AT BASE 2 ROWS @ 4" O.C. W/8d COMMON NAIL
- (B) NAIL AT TOP PLATE TWO ROWS @ 4" O.C. W/8d COMMON NAIL
- (C) NAIL OPENING PERIMETER @ 3" O.C. W/8d COMMON NAIL
- (D) NAIL INT. AT 6" O.C. W/8d COMMON NAIL
- (E) STAGGER ALL VERT. JOINTS & NAIL @ 4" O.C. W/8d COMMON NAIL
- (F) PLYWOOD SPLICES @ HEADER - NAIL SHEATHING TO HEADER W/ 8d COMMON NAILS @ 4" O.C.
- (G) (2) 8d NAILS @ 3" O.C. TO EACH TRUSS END OR @ VERTICAL MEMBER IF GABLE END

NOTE: 8d NAILS FOR WALL SHEATHING MUST BE MIN .131" X 2 1/2"

1
S.7



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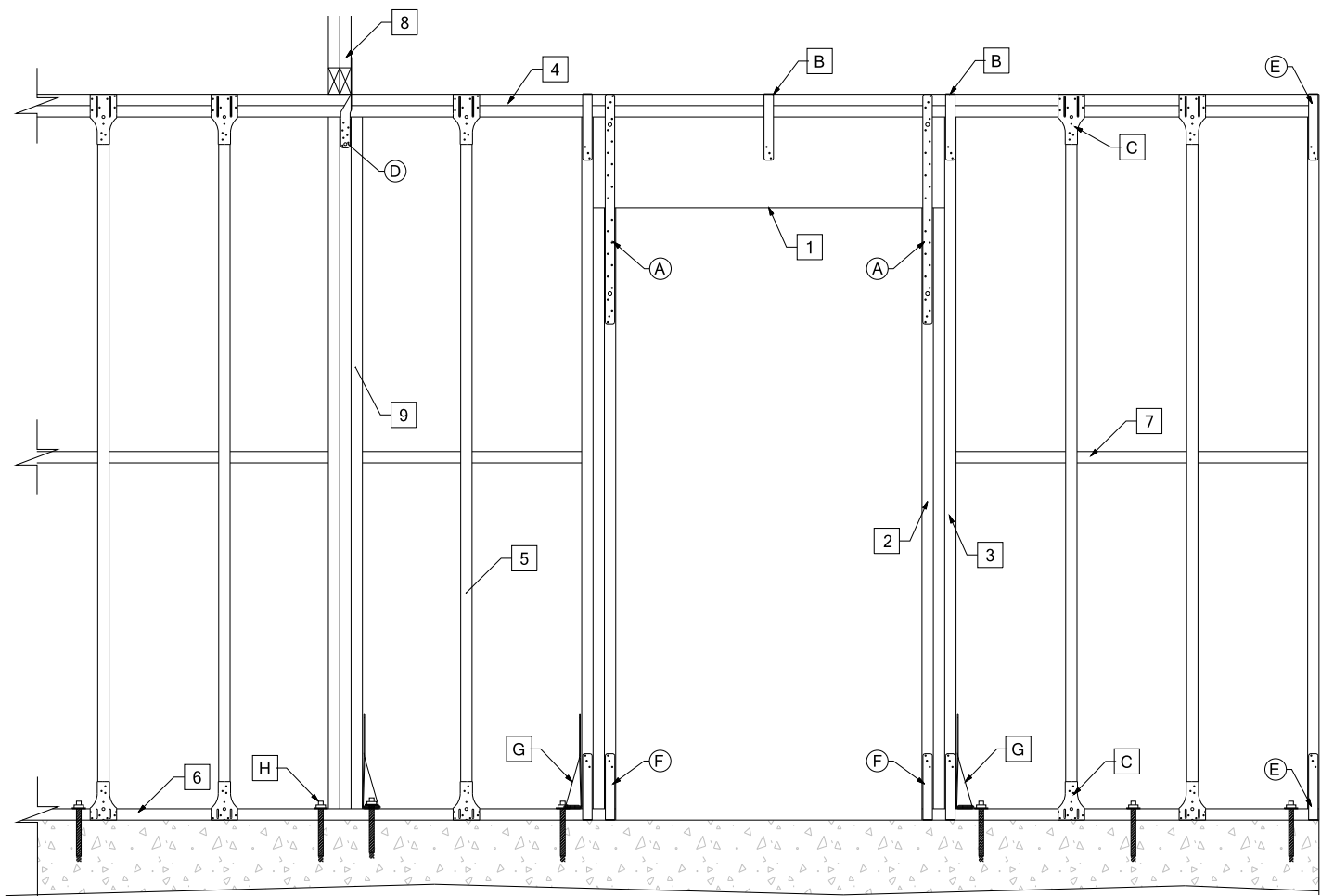
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Structural Details 1
Sheet S7

November 5, 2021

ROGER AND JUSTINE CASANTE
NEW KITCHEN PAVILLION AND GARAGE
2290 EVERLY STREET, OVIEDO FL 32762

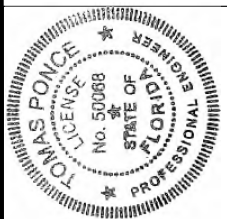


WALL FRAMEING DETAIL

- 1 HEADER (3) 2X12 SYP #2. w/ 11/16" OSB BETWEEN 2x UNLESS NOTED OTHERWISE
- 2 JACK STUDS BELOW HEADER. SEE FLOOR PLAN FOR JACK STUD REQUIREMENTS.
- 3 2x KING STUDS AT END OF HEADER. SEE FLOOR PLAN FOR KING STUD REQUIREMENTS
- 4 (2) 2x TOP PLATE.
(2) rows of 8d nails spaced 4" OC.
- 5 2x STUDS @ 16" O.C. U.N.O. ON PLANS. ATTACH STUDS TO TOP AND BOTTOM PLATES WITH (2) 10d NAILS.
- 6 2x P.T. SILL PLATE
- 7 2X MID HEIGHT BLOCKING W/ (2) 10d NAILS EACH END.
- 8 GIRDER/BEAM. SEE PLAN FOR ADDITIONAL INFORMATION.
- 9 COLUMN UNDER GIRDER/BEAM. SEE PLAN FOR SIZE, TYPE, AND BASE CONNECTION OF COLUMN.

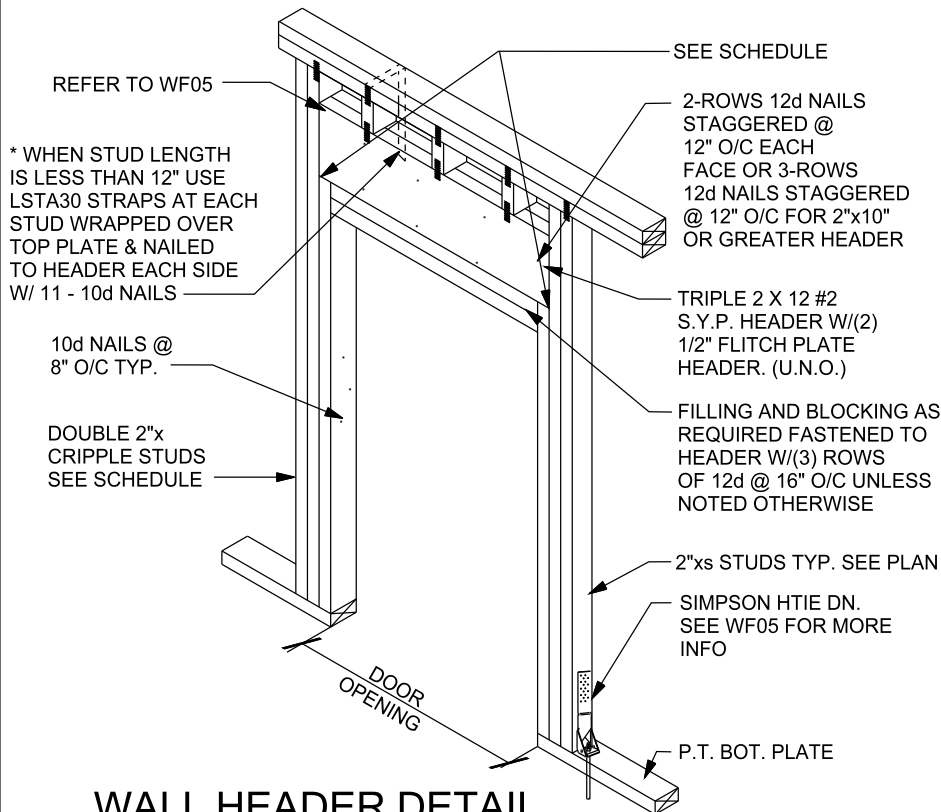
- A SIMPSON LSTA30 w/ (22)- 10d NAILS @ EACH END OF HEADER TO JACK STUD IF SPECIFIED ON PLANS. DOUBLE IF SPECIFIED ON PLANS.
- B SIMPSON SP4 W/ (6) 10d x 1 1/2" NAILS AT EACH KING STUD AND @ 24" O.C. ABOVE HEADER OPENING WHERE STRAPS ARE SPECIFIED AT EACH END OF HEADER ON PLANS.
- C CONNECTOR AT TOP AND BOTTOM OF EACH STUD IF SPECIFIED ON PLANS.
- D SEE PLAN FOR GIRDER/BEAM CONNECTION.
- E SIMPSON SP4 W/ (6) 10d x 1 1/2" NAILS AT TOP OF BOTTOM OF END STUD.
- F (2) SIMPSON SP4 W/ (6) 10d X 1 1/2" NAILS AT EACH END OF OPENING. USE ALTERNATE CONNECTION (G) WHEN STRAPS AT HEADER ABOVE ARE DOUBLED.
- G SIMPSON HTT5 W/ (18) 16d NAILS AND 3/8" EXPANSION ANCHOR w/ 6" EMBEDMENT TYPICAL (8 1/2" AT STEP-DOWN CONDITION).
- H 1/2" ANCHOR BOLTS @ 32" O.C. AND 6" FROM ENDS OF SILL PLATE W/ MIN. 7" EMBEDMENT. IN LIEU OF ANCHOR BOLTS USE 1/2" SIMPSON TITEN HD AT SAME SPACING AND EMBEDMENT.

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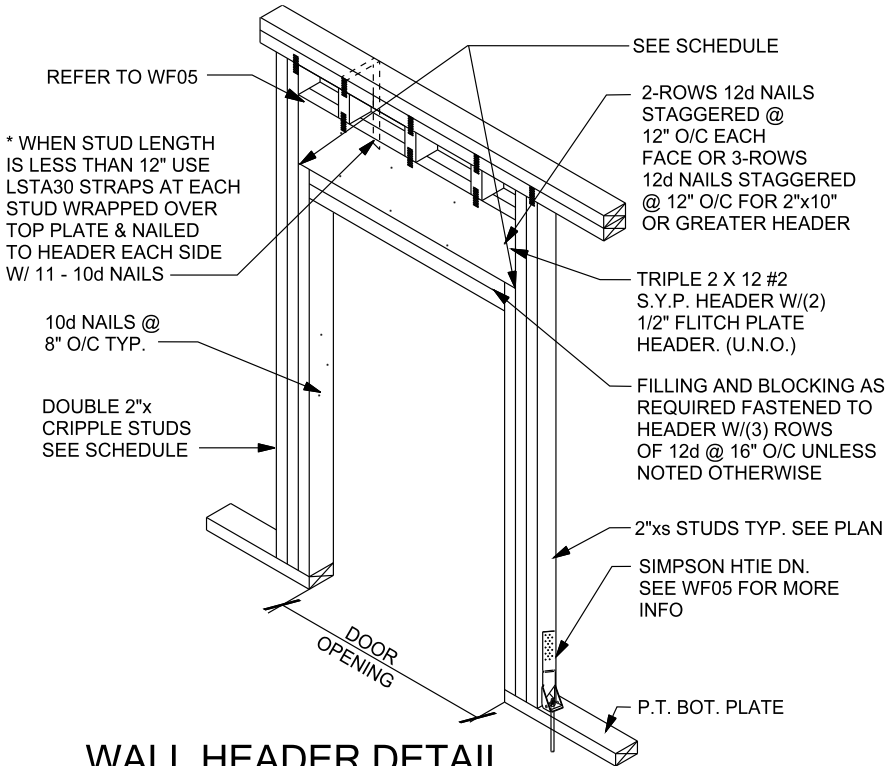
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HEADER SUPPORT NO. OF JACKS & STUDS REQ. AT OPENINGS				
OPENING SIZE	2 X 4 WALL		2 X 6 WALL	
	JACKS EA END	STUDS EA END	JACKS EA END	STUDS EA END
1' - 4'	(1)	(2)	(1)	(2)
4' - 9'	(2)	(3)	(2)	(2)
9' - 16'	(3)	(3)	(2)	(3)

HEADER ANCHOR NAILED TO TOP PLATES, HEADER & JACK	
HEADER SIZE & GRADE	NO. & SIZE OF RAFTER TIES EACH END
(3) 2X12" 2SYP	(2) LSTA 30



HEADER SUPPORT NO. OF JACKS & STUDS REQ. AT OPENINGS				
OPENING SIZE	2 X 4 WALL		2 X 6 WALL	
	JACKS EA END	STUDS EA END	JACKS EA END	STUDS EA END
1' - 4'	(1)	(2)	(1)	(2)
4' - 9'	(2)	(3)	(2)	(2)
9' - 16'	(3)	(3)	(2)	(3)

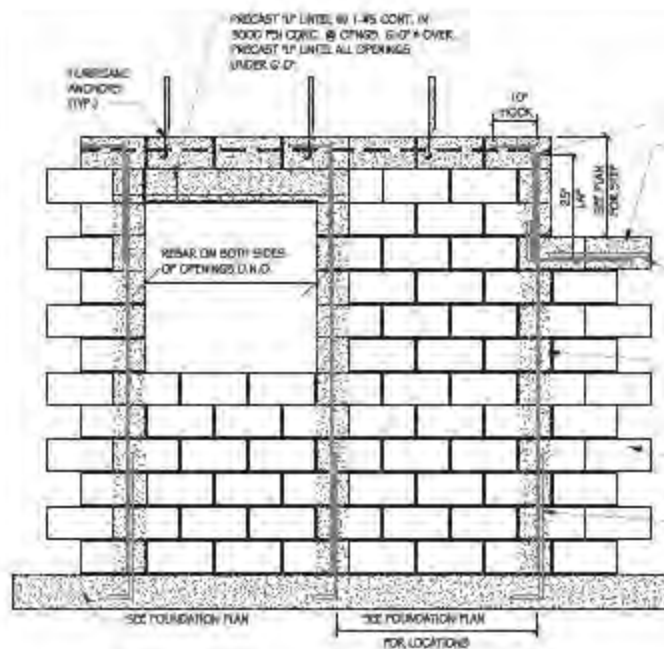
HEADER ANCHOR NAILED TO TOP PLATES, HEADER & JACK	
HEADER SIZE & GRADE	NO. & SIZE OF RAFTER TIES EACH END
(3) 2X12" 2SYP	(2) LSTA 30

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Structural Details 2
Sheet S8

October 11, 2021



M501 BLOCK WALL REINFORCEMENT
SCALE: N.T.S.

STD. 90° HOOK
TYP. BOND BEAM
8" x 8" x 16" F.O.I.
UNITS: BLOCK
FULL MASONRY P.S.I.
CONC. W/ #5 DIA. REBAR

STD. 90° DEGREE
ANGLE 3000 P.S.I.
CONC. W/ #5 DIA. REBAR

INDICATES REBAR
CELL FROM F.T.O. TO
DRAW WITH #5 BAR

3" x 8" x 16"
CONC. U.N.O.

TYP. BOND BEAM
MIN. LAP 12"

ROUTED CELL #1
(1) #5 REBAR



TYPICAL BOND BEAM @ CORNER
SCALE: 3/4"=1'-0"

ATTACHMENT REQUIREMENTS			
SIZE	TAPCONS	SPACING	# ROWS
2 x 4	3/16" x 3"	12" O.C.	1
2 x 6	3/16" x 3"	12" O.C.	2
2 x 8	3/16" x 3"	12" O.C.	2

NOTE: TAPCONS TO BE 6" FROM ENDS
FASTENING OF WINDOW TO BLOCK RESPONSIBILITY
OF WINDOW MANUFACTURER.



FASTEN 1x2x MAILER
TO MASONRY
IF DOUBLE 2x MAILER IS USED,
USE 1/4" x 4 1/2" TAPCONS. SEE
OTHER NOTE FOR SPACING
REQUIRED

IF DOUBLE 2x MAILER IS USED,
USE 1/4" x 4 1/2" TAPCONS SEE
OTHER NOTE FOR SPACING

M511 2x BUCK DETAIL
SCALE: N.T.S.

LINTEL PLAN NOTES:

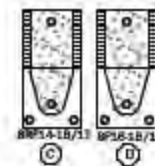
- 1- THIS PLAN IS TO BE USED FOR STRUCTURAL INFORMATION ONLY.
- 2- THE NUMBER OF COURSES OF MASONRY REQUIRED BETWEEN THE LINTEL & THE BOND BEAM SHOULD BE COORDINATED WITH THE ELEVATION DRAWINGS
- 3- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE PROPER LINTEL HEIGHT.

GENERAL NOTES

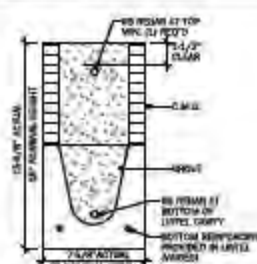
1. AREAS OF BLOCK ABV. MASONRY OPENINGS ARE TO BE GROUTED SOLID TO TIE BEAM.
2. (1) #5 REBAR IN TIE BEAM IS TO BE CONT. THROUGH OUT INCLUDING ABV. MASONRY OPENINGS. U.N.O.
3. ALL STANDARD LINTELS TO HAVE MIN. 4" BEARING EA. END ALL RECESSED LINTELS TO HAVE MIN. 8" BEARING EA. END
4. * LINTEL MINIMUM DEPTHS ARE CALLED OUT. IF CONTRACTOR INSTALLS A DEEPER LINTEL THAN INDICATED ON THE PLAN, DOING THIS INCREASES THE STRENGTH OF THE LINTEL.
5. (*) ANY LINTEL DEEPER THAN 32" HAS BEEN VERIFIED TO WORK AS A MIN. 32" FOR THE LOAD CONDITIONS. ANY LINTEL GREATER THAN 32" HAS A GREATER CAPACITY AND THEREFORE IS ADEQUATE FOR THE LOADS.

GENERAL CONCRETE LINTEL

APPROVED LINTELS:
CASTE-CRETE, QUALITY, LOTS



- REMARKS:**
1. To strength lintels = 3000 psi.
 2. To precast lintels = 3000 psi.
 3. Grout per ASTM C476 Pg. 13-14
 4. Maximum 3/8" aggregate and 3" to 15" slump.
 5. Concrete masonry walls (CMU) per ASTM C90 w/ minimum net area compressive strength = 1500 psi.
 6. Rebar per ASTM A631 Grade 60.
 7. 20 psi wet mix.
 8. Mortar per ASTM C270 type II or S.



GENERAL CONCRETE LINTEL
SCALE: N.T.S.

GENERAL INSTALLATION NOTES

1. Provide full mortar head and bed joints.
2. Score block surface as required.
3. Installation of lintel must comply with the manufacturer's and/or structural drawings.
4. Lintels are manufactured with 3/16" x 1/2" min. rebar at the ends in accordance with and reinforcing steel drawing.
5. All lintels must be placed in 1/2" vertical reinforcement, except for 17"-4" and larger with a minimum height of 2" rest on rebar 1/2".
6. Buttery load shall not be applied to the lintel at the time of casting.
7. 1/2" stainless steel wire mesh is applied to the bottom steel reinforcement.
8. Cast-in-place concrete may be provided in accordance with the design of concrete masonry walls.
9. Safety load ratings based on structural design analysis per ACI 318 and ACI 308.
10. Florida Product Approval No. 134-1.
11. The interior surface of lintels installed in exterior concrete masonry walls shall have a coating of elastomeric sealant applied in accordance with ASTM C625 or other approved coating.
12. Lintels must be continuously with vertical gravity and light and moisture (except lintels should be checked for complete loading with the following equation:

$$\frac{\text{Applied vertical load}}{\text{Safe vertical load}} + \frac{\text{Applied horizontal load}}{\text{Safe horizontal load}} \leq 1.0$$

LINTEL SCHEDULE

16" Garage Openings	- 17'-4" 8F16-1B/1T
3'-4" Window Openings	- 4'-6" 8F16-0B/1T
3'-4" Door Openings	- 4'-6" 8F16-0B/1T
4'-4" Openings	- 5'-10" 8F16-0B/1T



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Structural Notes/
Wind Pressures

Sheet S9

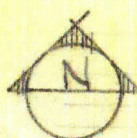
November 5, 2021

ROGER AND JUSTINE CASANTE
NEW KITCHEN PAVILLION AND GARAGE
2290 EVERLY STREET, OVIEDO FL 32762

19-1-21 - ORIG. REV. 10-25-22

(3) #1 AWG CU &
(1) #8 AWG CU
IN 2 1/2" CONDUIT
TO FEED THIS PANEL
PROVIDE 100 AMP/
2-POLE BREAKER
@ GARAGE/BARN
PANEL TO FEED
PAVILION 100 AMP
PANEL

216' 0' 16' 2' 16'



1" = 30'-0"

M20

NEW P.T. POWER POLE W/ METER
& MAIN DISCONNECT. RUN UN-
DERGROUND IN 2 1/2" SCHED.
80 PVC TO INSIDE THE BARN
(COORDINATE WITH PLACE-
MENT OF FOUNDATION & CMU
WALL) UP TO NEW 200 AMP
PANEL. THEN RUN 2 1/2" SCHED
80 PVC UNDERGROUND IN & UP
TO A NEW 100 AMP PANEL IN
THE PAVILION STORAGE RM.
GROUND AS REQ'D. SEE 2/E.1,
THIS SHT.

(3) #4 AWG CU,
(1) #10 AWG CU
TO FEED THIS
PANEL

NEW GAR-
AGE &
BARN
30 X 50

200 AMP PANEL

NEW OUTDOOR
KITCHEN & COV-
ERED PAVILION
20 X 30

100 AMP PANEL

NEW FIRE PIT

NEW CONC

NEW PAVERS

EX. PAVERS

EX. DRAINFIELD

EXISTING
1 STORY
RESIDENCE

(3) #3/0 CU IN 2 1/2" CONDUIT
FROM METER TO DISCON-
NECT
(3) #3/0 CU, (1) #6 AWG CU
GROUND IN 2 1/2" CONDUIT
FROM DISCONNECT TO PANEL

FEED FROM POWER
COMPANY @ NEW
POLE

NEW METER
@ NEW PWR POLE

NEW MAIN DIS-
CONNECT @
PWR POLE

200 AMP SERVICE
RATED DISCONNECT

200 AMP PANEL
AT BARN/GARAGE

100 AMP PANEL
@ PAVILION

2 1/2" SCHED 80 PVC
UNDER GROUND FROM
NEW POWER POLE TO
BARN, THEN TO PAVILION

6'-MIN

5/8" X 10'
GROUND RODS (2)

2 ELECT RISER DIAG.
E.1 NO SCALE

ROGER AND JUSTINE CASCANTE
NEW
KITCHEN PAVILION AND GARAGE
2290 Beverly Street, Oviedo, FL 32762

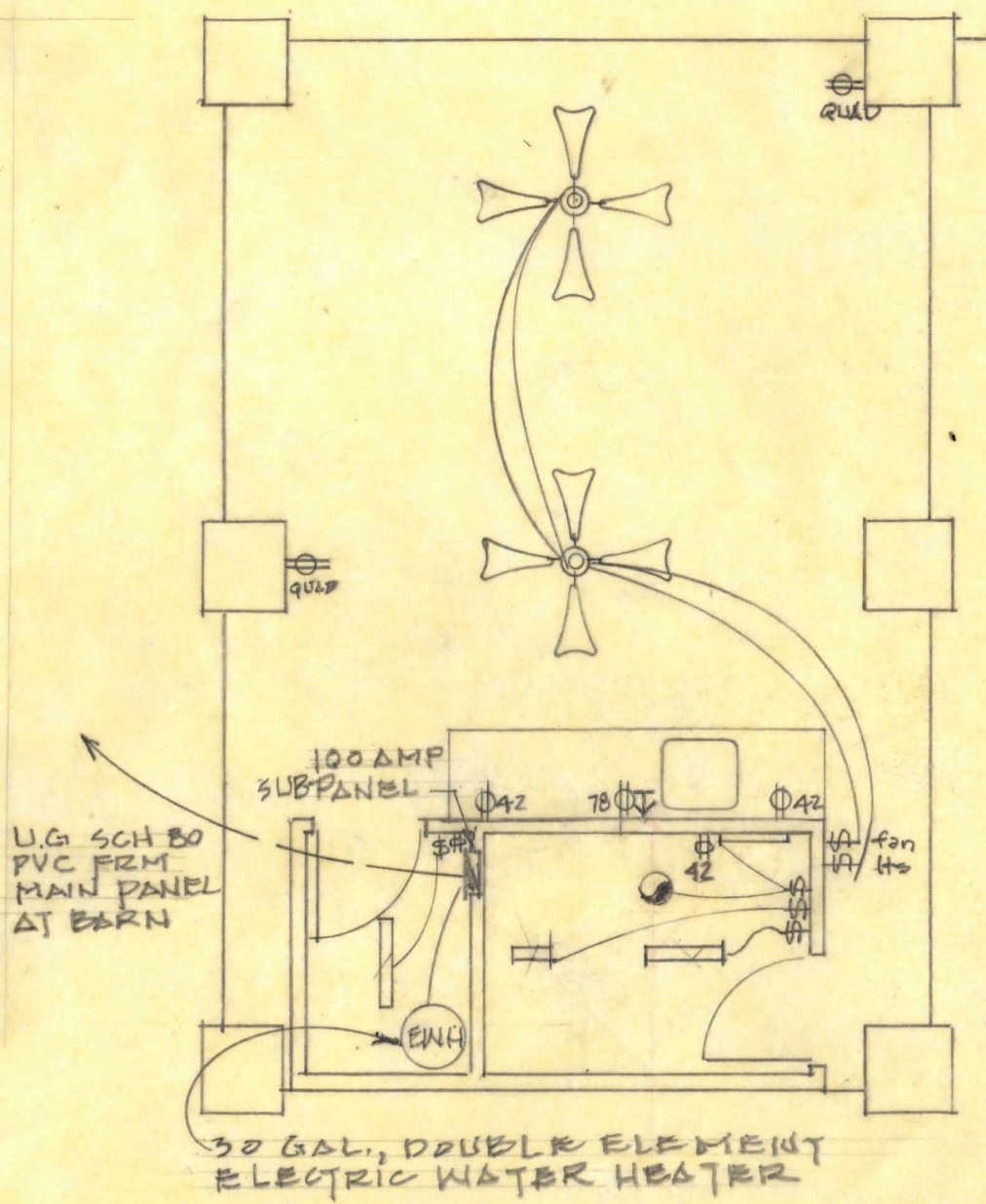
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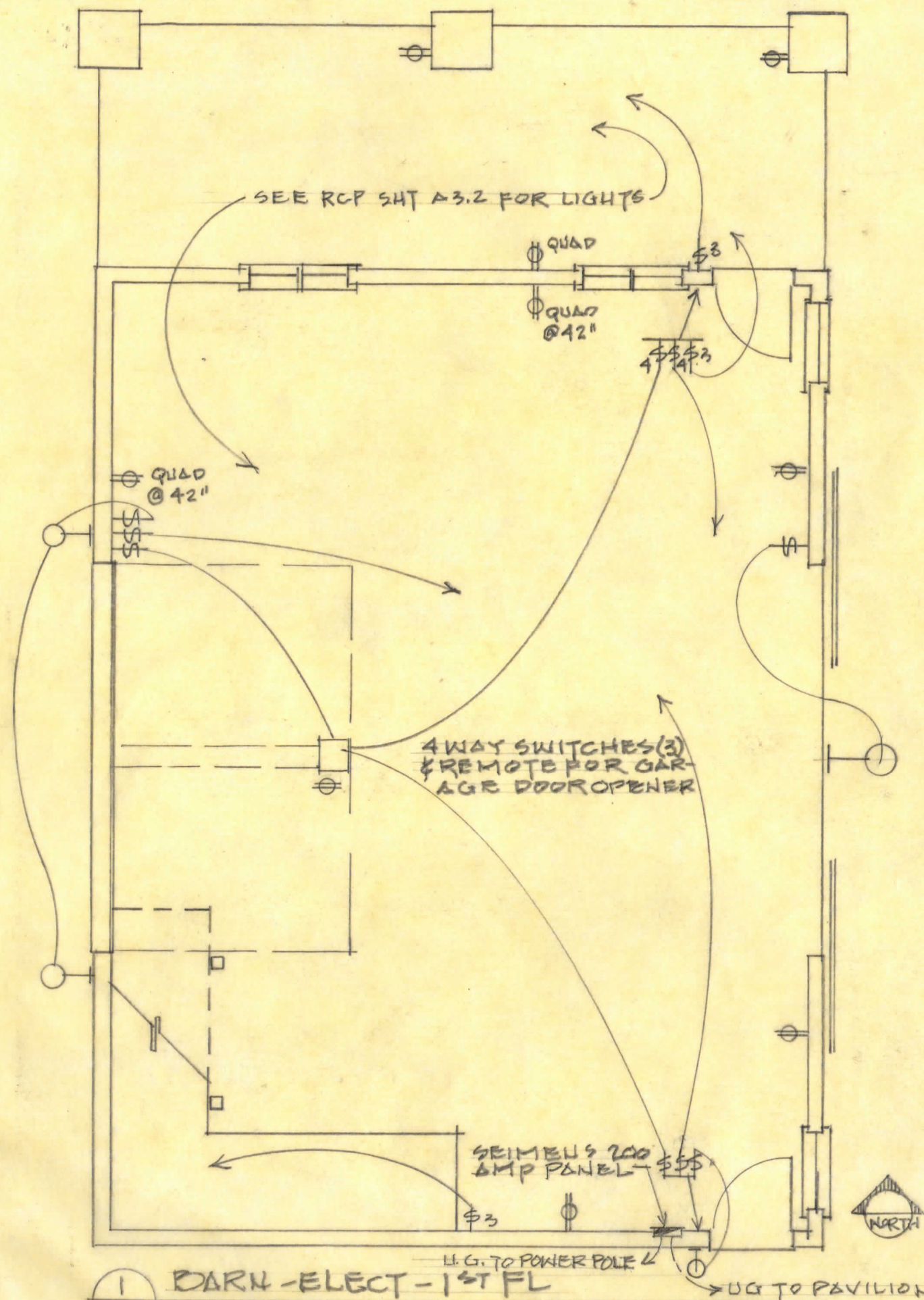
SITE ELECTRICAL

E.1

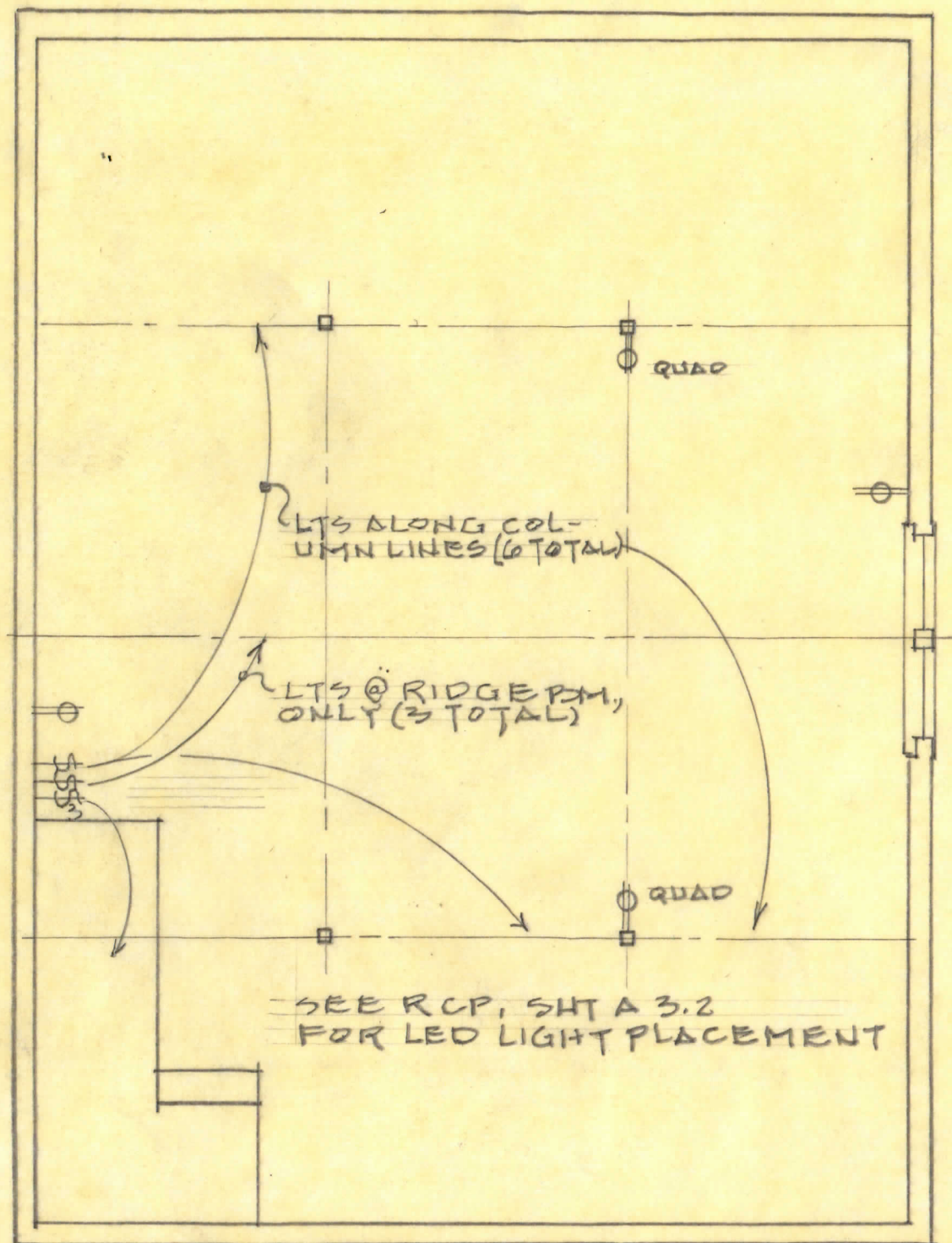
ELECTRICAL NOTES

- 1. UNLESS OTHERWISE SPECIFICALLY STATED HEREIN, THE ELECTRICAL PLAN(S) ARE ONLY FOR GENERAL DESIGN INTENT AND HAVE BEEN COMPILED TO MEET PERMIT REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION. ACTUAL QUANTITY, TYPE, AND PLACEMENT OF OUTLETS, SWITCHES, FIXTURES, AND ALL OTHER RELATED ELECTRICAL EQUIPMENT SHALL BE DETERMINED BY THE CONTRACTOR AND OWNER. INSTALLATION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES.
- 2. CONTRACTOR SHALL VERIFY WITH POWER COMPANY THE LOCATION OF SERVICE AND SHALL LOCATE METER AND PANEL AS REQUIRED.
- 3. ALL WIRES SHALL BE THW COPPER, UNLESS NOTED OTHERWISE.
- 4. WHERE REQUIRED BY OTHER CODES, SERVICE AND FEEDER CONDUCTORS SHALL BE COPPER OF EQUAL AMPACITY.
- 5. ALL BRANCH CIRCUITS IN RACEWAY OR NON-METALLIC SHEATHED CABLE.
- 6. COORDINATE RACEWAY INSTALLATIONS WITH OTHER TRADES PRIOR TO CONSTRUCTION.
- 7. VERIFY ALL CONDUCTORS AND BREAKERS WITH EQUIPMENT MANUFACTURERS SPECIFICATIONS.
- 8. PROVIDE DISCONNECT SWITCH SIZE AS REQUIRED BY LOAD AND UNITS.
- 9. PROVIDE NON-FUSIBLE GENERAL DUTY SAFETY SWITCHES AT AC EQUIPMENT, AND AT PUMPS NOT VISIBLE FROM CIRCUIT BREAKER PANEL AND AS PER MANUFACTURER'S RECOMMENDATIONS.
- 10. PROVIDE GROUND FAULT INTERRUPT (GFI) BREAKERS FOR ALL BATHROOM, GARAGE AND EXTERIOR OUTLETS AS SHOWN.
- 11. ELECTRICAL FIXTURES, TRIM AND APPLIANCES SHALL BE 'UL' APPROVED AND SELECTED BY OWNER.
- 12. PROVIDE PRE-WIRED TELEPHONE AND TELEVISION (CABLE TV) OUTLETS.
- 13. WIRE KITCHEN AND FAMILY ROOM SEPARATELY. *N/A*
- 14. ELECTRICAL SERVICE SIZE SHALL BE DESIGNED BY THE ELECTRICAL CONTRACTOR. THIS PLAN SHALL BE USED AS A GUIDE, POWER REQUIREMENTS SHALL BE DETERMINED BY TOTAL LOAD OF THE HOUSE.
- 15. PROVIDE AFCIs (ARC FAULT INTERRUPTERS) IN ALL DWELLING UNIT BEDROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOMS PER (E3902.12). *N/A*
- 16. PROVIDE TAMPER PROOF OUTLETS.
- 17. EVENLY SPACE (3) 4" SINGLE TUBE LED FIXTURES ALONG THE RIDGE OF THE ATTIC CEILING. *+ OTHERS AS SHOWN.*





1 BARN-ELECT-1ST FL
E.3 3/16" = 1'-0"



2 BARN-ELECTRICAL-2ND FLOOR
E.3 3/16" = 1'-0"

NOTE: ALL RECEPTACLES TO BE GFCI; ANY AT THE EXTERIOR, SHALL ALSO BE WEATHER PROOF

ROGER AND JUSTINE CASCANTE
NEW
KITCHEN PAVILION AND GARAGE
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BARN - 1ST & 2ND ELECTRICAL

E.3

Residential Optional Calculation

9/25/1997

Cascante Pavilion and Garage Expansion

RL Tech Solutions, LLC

413 Summit Ridge Place

Longwood, FL 32779

(321) 578-2007

10/25/2021 16:37

by John Schulte

Version 2010 B1

STEP 1 Article 220.42 & 220.52

sq. ft

1800

General Lighting load

5,400 VA

3

Small Appliance

4,500 VA

1

Laundry circuit

1,500 VA

Gen.Lgt, Sm App. & Laun. Load

11,400 VA

STEP 2 Article 220.50 & 220.51

A/C #1

VA

AHU 1

Select

VA

A/C #2

VA

AHU 2

Select

VA

A/C #3

VA

AHU 3

Select

VA

A/C #4

VA

AHU 4

Select

VA

A/C #5

VA

AHU 5

Select

VA

General lighting, Sm. Appl. & Laundry

11,400 VA

Total Heat Load

VA

Total CU Load

VA

Central Electric Heat @ 65%, vs. A/C @ 100%

VA

STEP 3 Article 220.53

4,500 VA

1

Water Heater

4,500 VA

1,400 VA

0

Refrigerator

VA

600 VA

0

Freezer

VA

1,030 VA

0

Dishwasher

VA

690 VA

0

Disposal

VA

400 VA

0

Trash Compactor

VA

1,630 VA

0

Microwave

VA

1,440 VA

0

Central Vac

VA

170 VA

0

Mini Refrigerator

VA

800 VA

0

Range hood

VA

480 VA

0

Hurricane Shutters

VA

1,500 VA

0

Ironing Center

VA

select

0

Jacuzzi Tub

VA

1/2 hp

0

Sprinkler Pump

1,127 VA

select

0

Well Pump

VA

select

0

Fountain Pump

VA

select

0

Elevator

VA

Pool Equip. Panel

8,382 VA Apply Demand

VA No Demand

VA No Demand

Appliance Demand Load

14,009 VA

Dryer Demand Load

5,000 VA

Range Demand Load

4,200 VA

Service Demand

19,844 VA

Demand Load

83 A

Neutral Demand

44 A

Min.Service Req.

100 A

Min. Feeder size

4

Min. Neutral size

6

Eq. Grding Cond.

8

Copper

Total Appliance Load

14,009 VA

STEP 4 Article 220.54

Electric Clothes Dryers

5,000 VA

STEP 5 Article 220.55

Electric Ranges

Col C demand

W

or Number of appliances

0

Check Box for Gas Range

Cooktop

1,800 W

Col B demand

Cooktop

Col B demand

Oven(s)

2,400 W

Col B demand

Oven(s)

Col B demand

Number of appliances

Dem. Factor

Cooktop & Oven Demand Load

ROGER AND JUSTINE CASCANTE
NEW
KITCHEN PAVILION AND GARAGE
2290 Beverly Street, Oviedo, FL 32762

MILZARCH, LLC
JERRY WALKER MILLS, SR.
701 WEST THIRD ST. SANFORD, FL 32771
407 821 8785 MILZARCH@GMAIL.COM
LICENSE # AR0008314

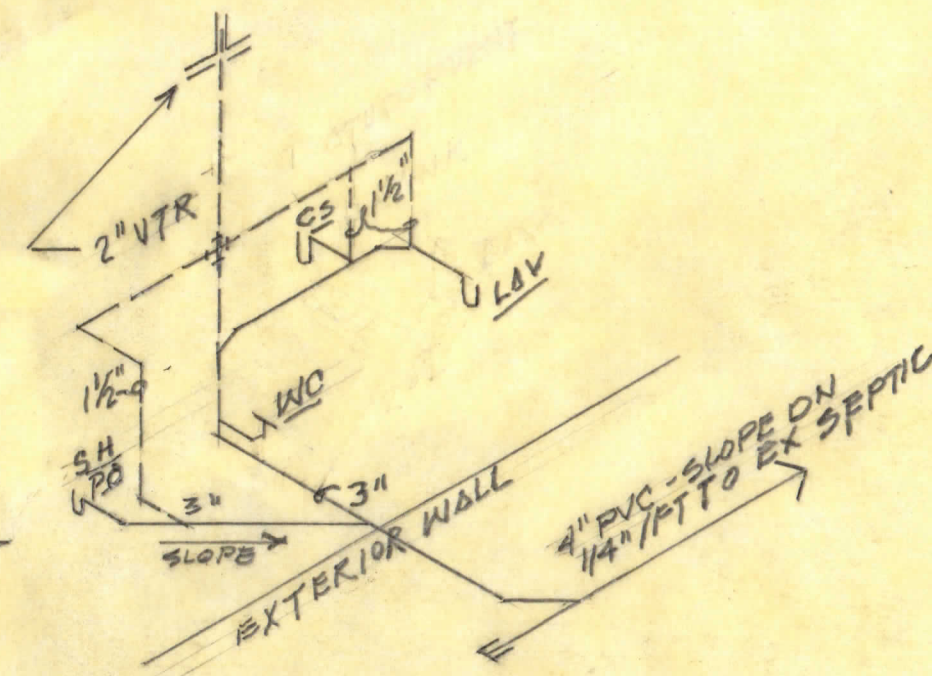
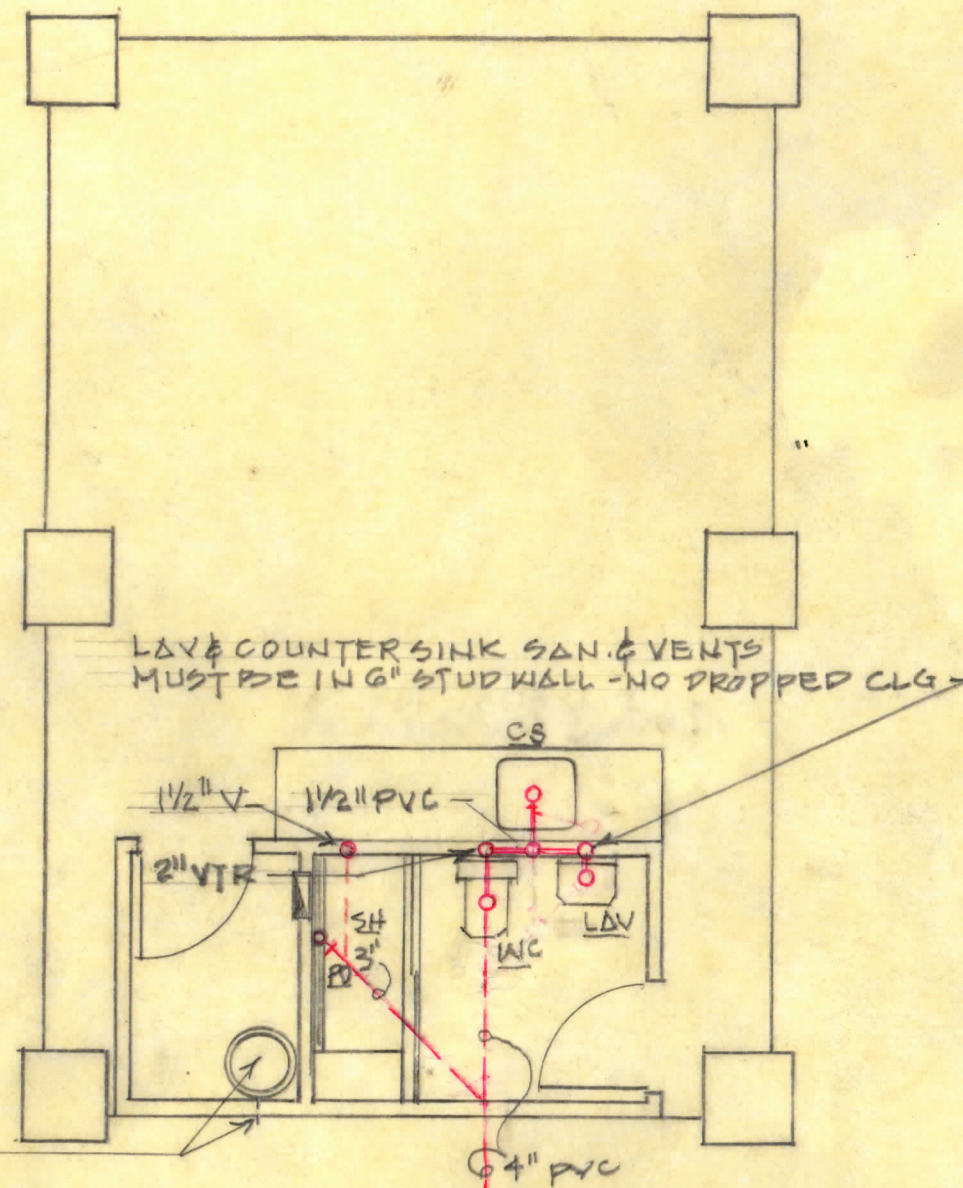
ELECT. LOAD CALCS

E.4

30 GAL, DOUBLE ELEMENT ELECT. WATER HEATER W/METAL PAN & OVERFLOW DRAIN PIPE TO EXTERIOR



① SANITARY - PAVILION P.2 3/16" = 1'-0"



② SANITARY RISER DIAGRAM P.2 NO SCALE

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PAVILION- PLUMBING

P.1