

# ROGER AND JUSTINE CASCANTE NEW GARAGE/BARN

2290 Beverly Street, Oviedo, FL 32762

## CONSTRUCTION DOCUMENTS AHJ - SEMINOLE COUNTY

### CODE CRITERIA

- 2020 FLORIDA BUILDING CODE, RESIDENTIAL 7<sup>TH</sup> EDITION
- ANSI/NFPA 70 NATIONAL ELECTRIC CODE (NEC 2017)
- BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE - (ACI 318-14)
- SPECIFICATIONS FOR STRUCTURAL CONCRETE BUILDINGS - (ACI 301-14)
- BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES - (TMC 402 - 2016)
- NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION - (NDS 2018)
- WOOD FRAMED CONSTRUCTION MANUAL 2018 EDITION
- APA PLYWOOD DESIGN SPECIFICATION - LATEST EDITION
- AMERICAN SOCIETY OF CIVIL ENGINEERS: ASCE/SEI 7-16

This item has been digitally signed and sealed by [Tomas Ponce PE, FL # 0050068], on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

**ROGER AND JUSTINE CASCANTE**  
**NEW**  
**KITCHEN PAVILION AND GARAGE**  
**2290 Beverly Street, Oviedo, FL 32762**

**DRAWING INDEX - FINAL - GARAGE/ BARN, ONLY**  
**PERMIT # TBD**

**CASCANTE KITCHEN PAVILION AND GARAGE/BARN**

**NOTE! PAVILION SUBMITTED PREVIOUSLY - #BP22-00000534**

SHT	SHT NO.	NAME
1	A0.0	COVER; SITE
2	ST.01	ARCHITECTURAL SITE PLAN
3	SUR L1	SURVEY
4	CL1	CIVIL SITE
5	A1.1	ARCHITECTURAL SPECS
6	A2.1	FIRST FLOOR PLAN - PAVILION
7	A2.2	BARN FIRST FLOOR PLAN
8	A2.3	BARN SECOND FLOOR PLAN
9	A3.1	PAVILION REFLECTED CEILING PLAN
10	A.3.2	BARN 1 <sup>ST</sup> & 2 <sup>ND</sup> REFLECTED CEILING PLANS
11	A.4.1	PAVILION ROOF PLAN
12	A4.2	BARN ROOF PLAN
13	A6.1	PAVILION ELEVATIONS - N & E
14	A6.2	PAVILION ELEVATIONS - S & W
15	A6.3	BARN ELEVATION - EAST
16	A6.4	BARN ELEVATIONS - SOUTH, WEST & NORTH
17	A7.1	PAVILION BUILDING & WALL SECTION
18	A7.2	BARN BUILDING SECTION & WALL SECTIONS
19	A8.1	BARN ROOF & WALL DETAILS
20	A9.1	DOOR & WINDOW SCHEDULES & DETAILS
21	A9.2	MISCELLANEOUS DETAILS (INCL FIREFF)

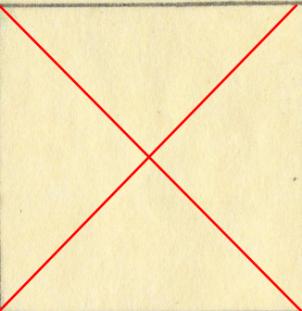
STRUCTURAL		
22	S.1	GENERAL NOTES 1
23	S.2	PAVILION FOUNDATION PLAN
24	S.3	BARN FOUNDATION PLAN
25	S.4	PAVILION ROOF FRAMING PLAN
26	S.5	BARN SECOND FLOOR FRAMING PLAN
27	S.6	BARN ROOF FRAMING PLAN
28	S.7	STRUCTURAL DETAILS
29	S.8	STRUCTURAL DETAILS
30	S.9	WIND DATA AND DETAILS

**MECHANICAL**  
NOT REQUIRED - BARN IS NATURALLY VENTILATED

ELECTRICAL		
31	E.1	SITE ELECTRICAL
32	E.2	PAVILION ELECTRICAL
33	E.3	BARN 1 <sup>ST</sup> & 2 <sup>ND</sup> FLOOR ELECTRICAL
34	E.4	RESIDENTIAL ELECTRICAL LOAD CALC

PLUMBING		
35	P.1	PAVILION PLUMBING PLAN (Sanitary, only) & ISO

MZa Proj. # 2021.003



**MILZARCH, LLC**  
 JERRY WALKER MILLS, SR.  
 701 WEST THIRD ST. SANFORD, FL 32771  
 407 921 5795 MILZARCH@GMAIL.COM  
 LIC# 1300000014

**FINAL**  
**NOVEMBER 5, 2021**  
**MZa Proj. # 2021.003**

**COVER; SITE LOCATION**

**A0.0**

1 OF 22

REV 0.27.22



**LOCATER MAP**

MAP COURTESY OF GOOGLE

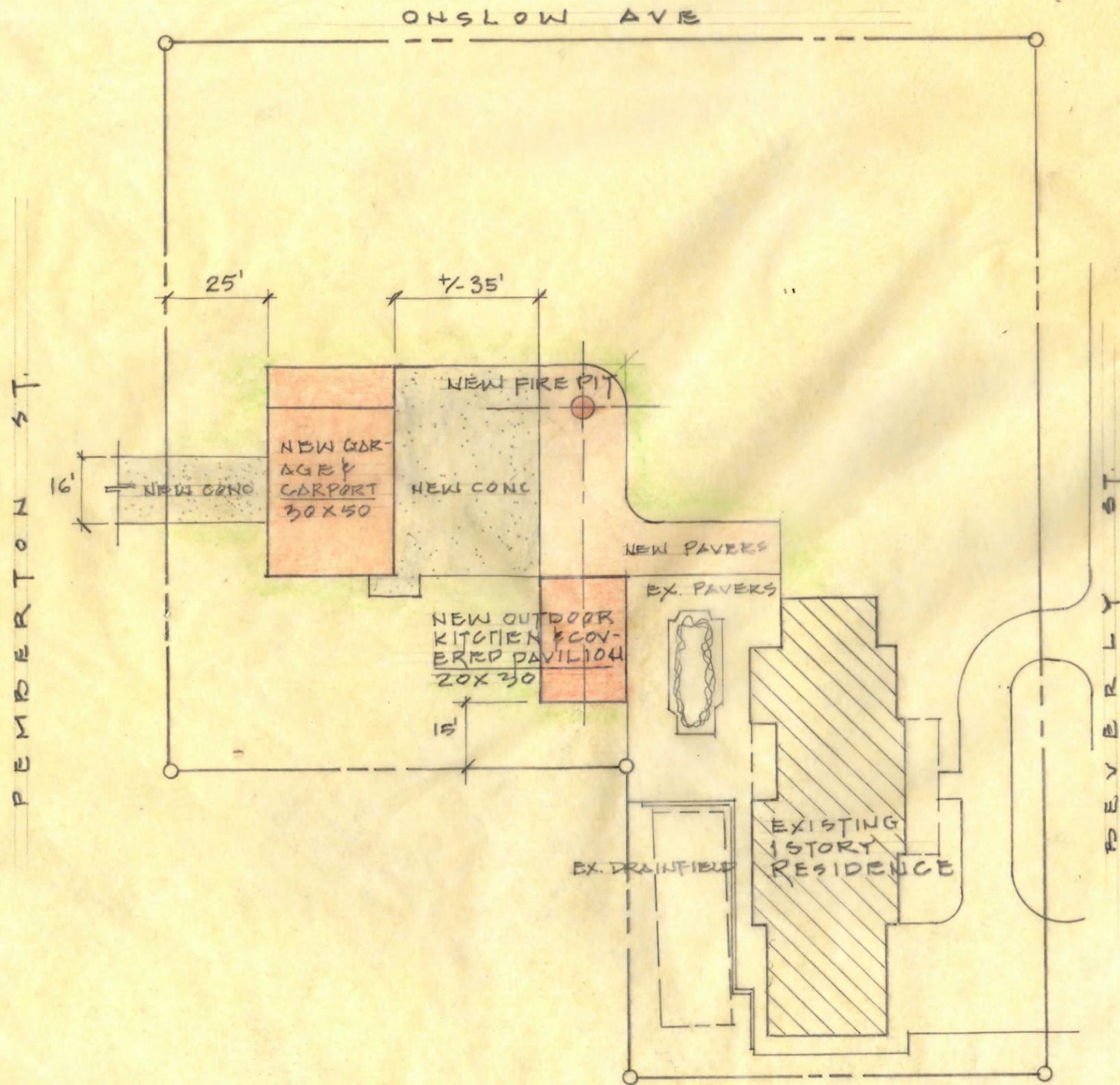
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**AERIAL**

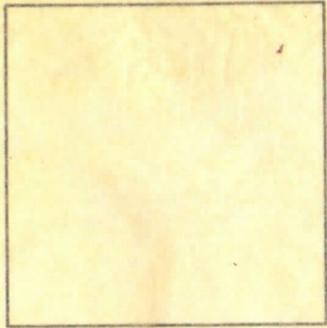
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**PROJECT SCOPE** - THIS PROJECT CONSISTS OF THE DESIGN AND CONSTRUCTION OF TWO BUILDINGS: AN OUTDOOR KITCHEN PAVILION AT APPROXIMATELY 600SF AND A TWO CAR GARAGE, AT APPROXIMATELY 1500SF. THE DRAWING NAMES WILL REFER TO THE TWO AS "PAVILION" AND "BARN." THE PAVILION WILL BE A SLAB ON GRADE WITH A ROOF SUPPORTED BY SIX FIBERGLASS LOAD-BEARING COLUMNS ON MASONRY BASES. THE ROUGH SAWN TIMBER FRAMING FOR THE ROOF WILL BE EXPOSED, UNDERNEATH. SPACE FOR AN OUTDOOR KITCHEN UNIT WILL BE PROVIDED, AS WELL AS A FULL BATHROOM WITH SANITARY DRAINAGE TO THE EXISTING RESIDENCE'S SEPTIC AND DRAINFIELD. THE BARN WILL BE A SLAB ON GRADE, CMU WALLS WITH FURRING AND BOARD-&-BATTEN HARDY BOARD. THE MAIN ENCLOSED BUILDING IS 30'X40' WITH A 10' ATTACHED COVERED "SHED." ACCESS TO THE SPACE ABOVE THE GARAGE WILL BE BY AN INTERNAL STAIRWAY FOR STORAGE OF PERSONAL BELONGINGS. AN OUTDOOR FIRE PIT AND MISCELLANEOUS PAVEMENT, SOME WITH PATIO PAVERS, IS ALSO INCLUDED.



**SITE PLAN**  
 1" = 30'-0"

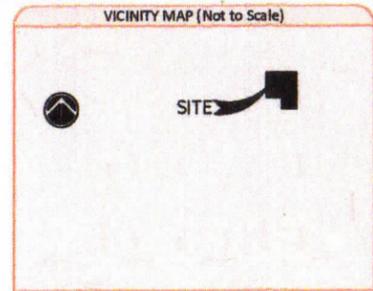
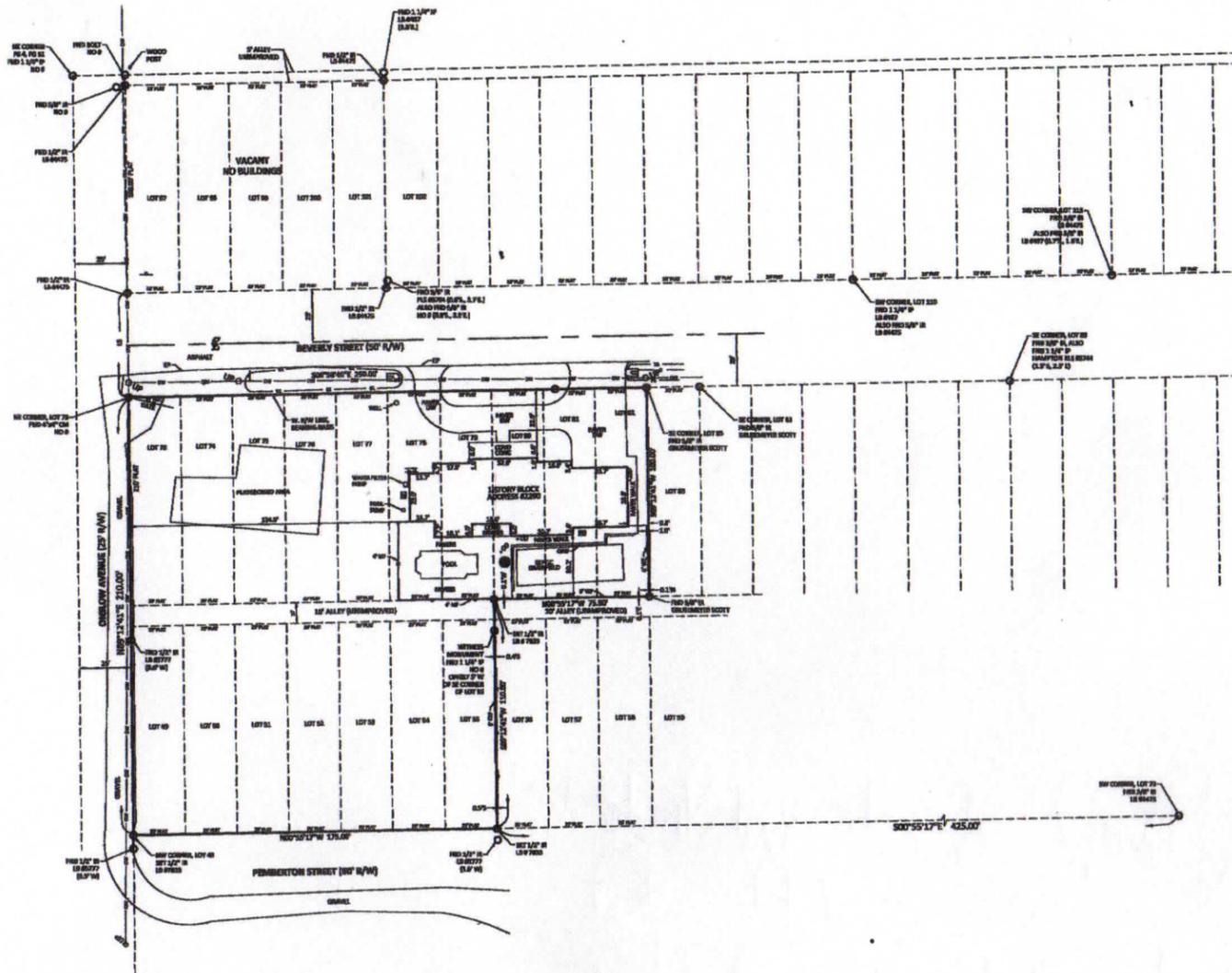
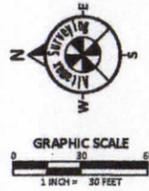
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 407 921 8795 MILZARCH@GMAIL.COM  
 LICENSE #AR0008314

**SITE**  
**ST0.1**

# BOUNDARY SURVEY



**LEGEND**

- 10 SECTION OF CORNER
- 11 SECTION OF CORNER
- 12 SECTION OF CORNER
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- 98 SECTION OF CORNER
- 99 SECTION OF CORNER
- 100 SECTION OF CORNER

**DESCRIPTION:**  
 LOTS 49 THROUGH 55 AND LOTS 73 THROUGH 82 TOGETHER WITH THAT PORTION OF THE 10 FOOT ALLEY WAY LYING BETWEEN LOTS 49 THROUGH 55 AND LOTS 73 THROUGH 82, NEW GARDENS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLATBOOK 4, PAGE 31, PUBLIC RECORDS OF SEMINOLE COUNTY, FLORIDA.

- GENERAL SURVEY NOTES:**
1. BEARING STRUCTURE BASED ON THE MONUMENTED WEST R/W LINE OF BEVERLY STREET; BEING: S00°51'40"E (ASSUMED).
  2. THIS SURVEY REFLECTS ONLY MATTERS OF RECORD AS PROVIDED BY THE CLIENT OR CLIENTS REPRESENTATIVE.
  3. THIS SURVEY WAS MADE ON THE GROUND. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ENGINEER AND CONTRACTOR SHALL VERIFY MEASUREMENTS OF CONNECTIONS TO EXISTING UTILITIES BEFORE ORDERING MATERIALS AND BEFORE COMMENCEMENT OF CONSTRUCTION. IF THERE IS A DISCREPANCY BETWEEN THE MEASUREMENTS SHOWN HEREON AND THE VERIFYING MEASUREMENTS, THIS SURVEYOR SHALL BE CONTACTED IMMEDIATELY TO FURTHER VERIFY THE DISCREPANCY.
  4. THIS SITE LIES IN ZONE "X", BASED ON FLOOD INSURANCE RATE MAP NO. 1211702180F, COMMUNITY NO. 120289, SEMINOLE COUNTY, FLORIDA AND HAVING AN EFFECTIVE DATE OF SEPTEMBER 28, 2007.
  5. ACCORDING TO FLORIDA STATUTES, CHAPTER 472.025, A LAND SURVEYOR SHALL NOT AFFIX HIS SEAL OR NAME TO ANY PLAN OR DRAWING WHICH DEPICTS WORK WHICH HE IS NOT LICENSUED TO PERFORM OR WHICH IS BEYOND HIS PROFESSION OR SPECIALTY THEREIN. THEREFORE, WE ARE UNABLE TO CERTIFY AS TO MUNICIPAL ZONING COMPLIANCE, INTERPRETATION OF ZONING CODES OR THE DETERMINATION OF VIOLATIONS THEREOF.
  6. THIS SURVEY MADE WITHOUT BENEFIT OF COMMITMENT FOR TITLE OR SEARCH OF PUBLIC RECORDS FOR EASEMENTS AND/OR ENCUMBRANCES THAT MAY AFFECT THIS SUBJECT PROPERTY.

Prepared for: **ROGER F. & JUSTINE C. CASCANTE**



**Altamax Surveying**  
 8220 S. W. 11th St., Suite 100  
 Cape Coral, FL 33908  
 Phone: 407-777-2000  
 Fax: 407-777-2000  
 www.altamaxsurveying.com

Digitally signed by James D. Bray  
 DN: cn=James D. Bray, o=Altamax Surveying, ou=Altamax Surveying, email=jbray@altamaxsurveying.com, c=US

James D. Bray PSM 6507

This Survey is "Not Valid" without the signature and the original raised seal of this Florida Licensed Surveyor and Mapper, unless provided with electronic signature with the ability to validate. Go to: www.altamaxsurveying.com for instructions on signature validation. The seal appearing on this document was authorized by the signing Professional Surveyor and Mapper on the Date of the electronic signature.

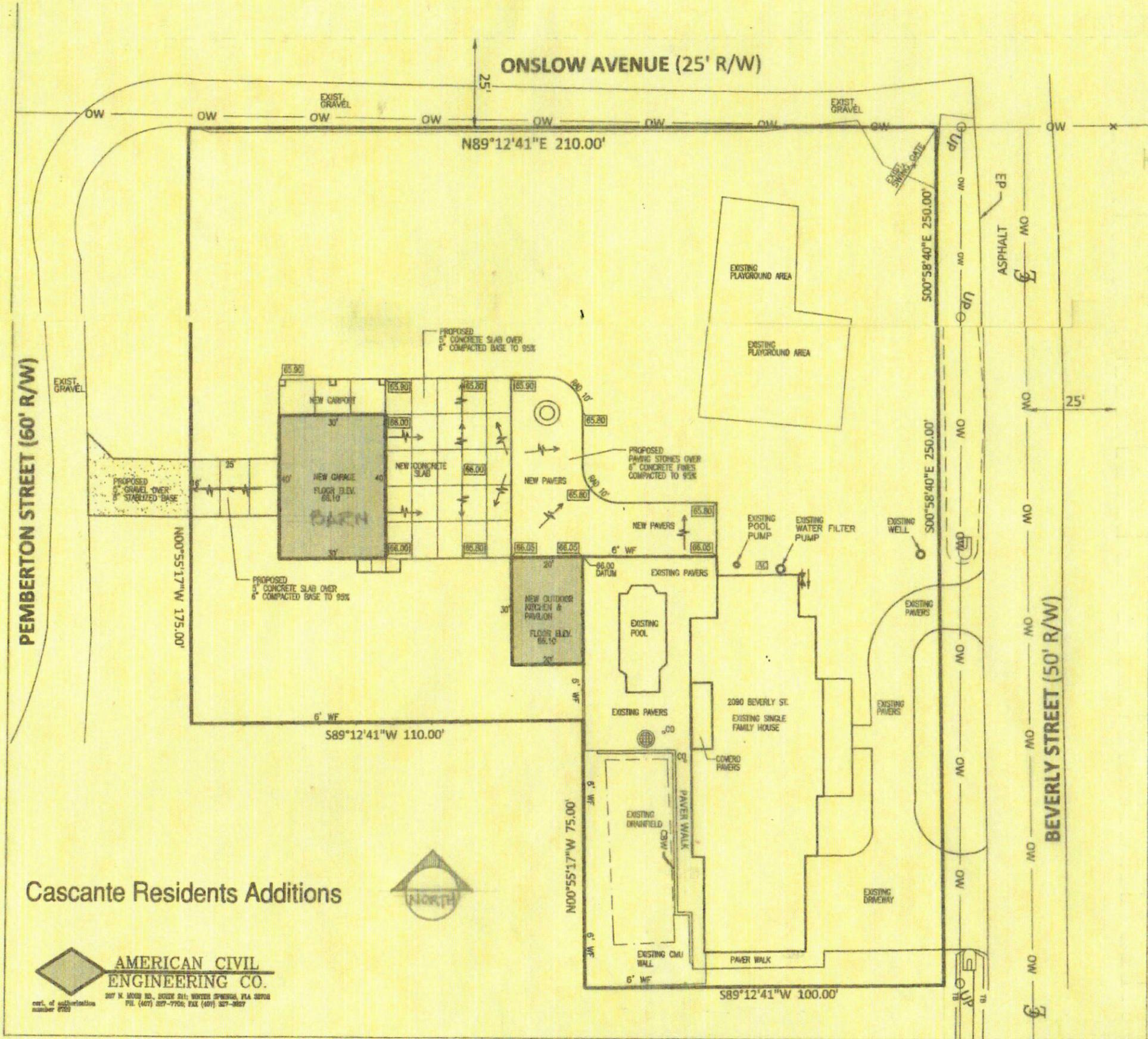


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 LICENSE # AR0008314

SURVEY

**SUR 1.1**



Cascante Residents Additions



**AMERICAN CIVIL ENGINEERING CO.**  
207 N. MOORE BLVD., SUITE 201, WINTER SPRING, FLA 32789  
 TEL (407) 327-7700; FAX (407) 327-3827

① ENGINEERED SITE PLAN  
 C1.1 1" = 30'

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SITE CIVIL  
**C1.1**

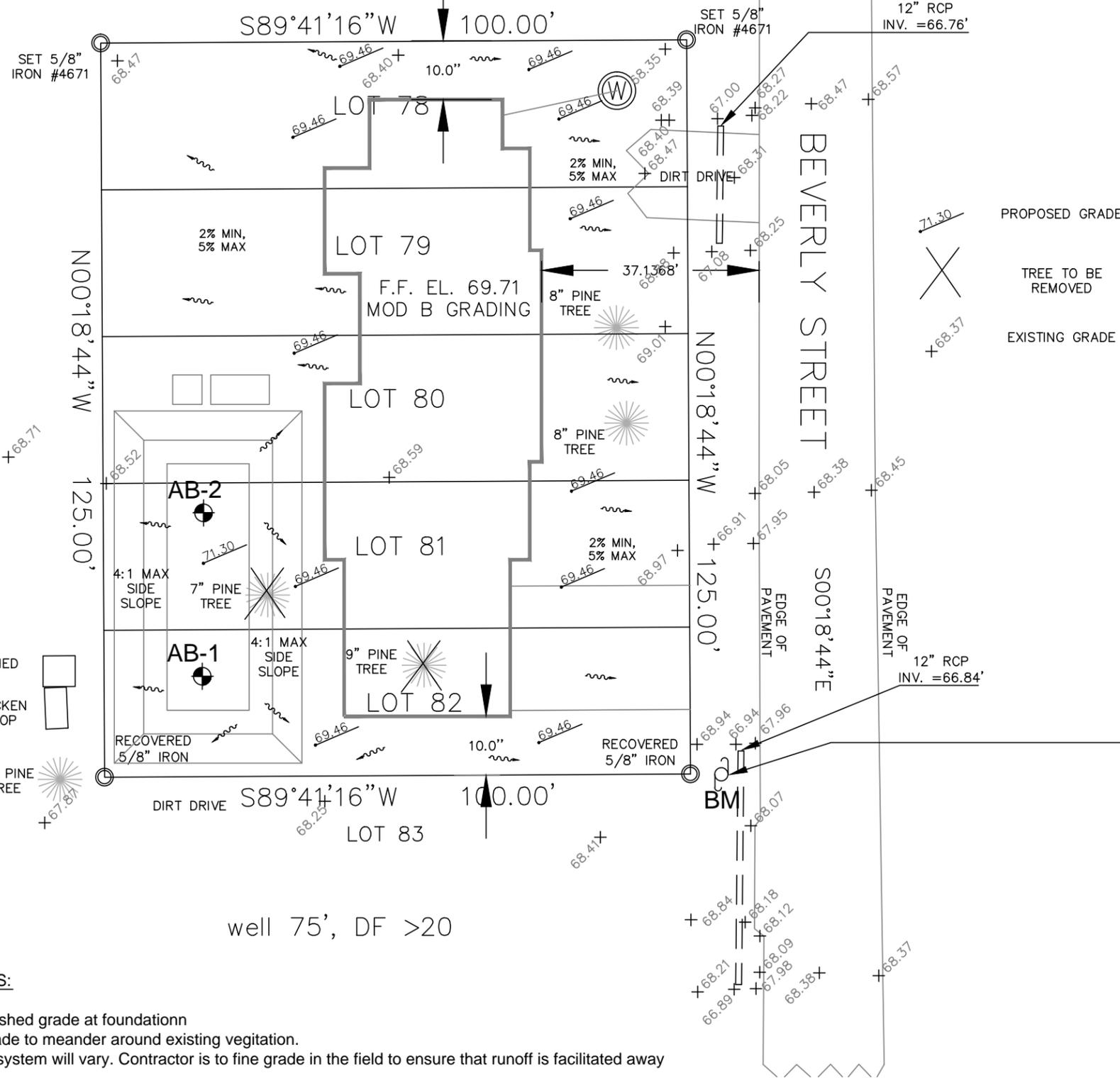
LOTS 73  
THRU 77

vacant/wooded

SCALE: 1"=20'



no wells w/in 75'



**CONTRACTOR NOTES:**

Slab shall be above finished grade at foundation  
 Every effort shall be made to meander around existing vegetation.  
 Grading around septic system will vary. Contractor is to fine grade in the field to ensure that runoff is facilitated away structure.

PLANNING AND DEVELOPMENT DEPARTMENT  
 Building and Fire Inspection Division

SEMINOLE COUNTY  
 FLORIDA'S NATURAL CHOICE

**LOT GRADING TYPE B**

NTS  
 ALL DRAINAGE TO REAR AND STREET

1. THE MINIMUM FINISH FLOOR ELEVATION OF ANY STRUCTURE SHALL NOT BE LESS THAN SIXTEEN (16) INCHES ABOVE THE LOWEST CROWN OF THAT PORTION OF THE ADJACENT STREET, ROAD, OR RIGHT-OF-WAY UPON WHICH THE STRUCTURE FRONTS.
2. THE FINISH FLOOR TO BE A MINIMUM OF EIGHT (8) INCHES ABOVE THE HIGHEST CONTOUR THAT ABUTS THE BUILDING.
3. ALL LOTS MUST BE GRADED IN ACCORDANCE WITH THE APPROVED SUBDIVISION GRADING PLAN.
4. ADDITIONS AND POOLS MAY NOT IMPEDE THE DRAINAGE PATTERN, SWALES MAY NEED TO BE ADDED OR REGRADED TO PROVIDE POSITIVE DRAINAGE.
5. SIDE SWALES MUST BE ON EACH LOT AND SHALL BE CONSTRUCTED TO DIVERT RUN-OFF WATER AROUND ANY STRUCTURE AND SO AS TO NOT ADVERSELY IMPACT ADJACENT PROPERTY OWNERS.
6. SWALES AND FINAL GRADING MUST BE COMPLETED PRIOR TO FINAL INSPECTIONS.
7. ALL SLOPES SHOWN ARE MINIMUM AND MAY BE INCREASED IF REQUIRED BY DEVELOPMENT REVIEW.

1101 EAST FIRST STREET SANFORD FL 32771-1468 TELEPHONE (407) 665-7050 FAX (407) 665-7461 / 7486

**CASCANTE RESIDENCE  
 GRADING PLAN  
 SEMINOLE COUNTY**



NO.	DATE	REVISION / ISSUE DATE	BY:

RCE CONSULTANTS, LLC  
 617 Arvern Drive  
 Altamonte Springs, FL 32701  
 Phone No. 407-653-8633  
 rceconsultants@flr.com

**Engineer of Record**  
 Laurence Pollner  
 #56974  
 RCE CONSULTANTS, LLC  
 Certificate of Authorization 29097

PROJECT  
 # 08.2014  
 DRAWN: LMP CHECKED: LMP  
 JUNE 2014  
 SCALE:  
 N/A  
**1**  
 GRADING PLAN

## GENERAL NOTES

- ALL WORK COMPLETED UNDER THIS CONTRACT SHALL BE IN COMPLIANCE WITH THE 2020 RESIDENTIAL EDITION OF THE FLORIDA BUILDING CODE (FBC, Seventh Edition), AND IN CONJUNCTION WITH ASCE 7-16.
- REFER TO SHEET S9 FOR WIND AND LOADING CRITERIA.
- DO NOT SCALE DRAWINGS. THE CONTRACTOR AND SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO WORK PERFORMED AND SHALL NOTIFY THE ARCHITECT IF ANY DISCREPANCIES ARE FOUND. (NOTE: In this instance the Owner IS the GC, Elfrink Construction)
- THE CONTRACTOR SHALL BRING ERRORS AND OMISSIONS WHICH MAY OCCUR IN CONTRACT DOCUMENTS TO THE ATTENTION OF THE ARCHITECT IN WRITING AND WRITTEN INSTRUCTIONS SHALL BE OBTAINED BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES OR OMISSIONS IN THE CONTRACT DOCUMENTS, OF WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK.
- THE ARCHITECT/ENGINEER SHALL NOT BE RESPONSIBLE FOR THE SAFETY AND CONSTRUCTION PROCEDURES, TECHNIQUES, OR THE FAILURE OF THE BUILDER TO CARRY OUT THE WORK IN ACCORDANCE WITH THE DRAWINGS OR THE REQUIRED CODES.
- THE STRUCTURAL DESIGN IS BASED ON THE INTERACTION OF ALL PARTS OF THE COMPLETED BUILDING. THE CONTRACTOR SHALL SOLELY BEAR THE RISK FOR PROVIDING ADEQUATE STABILITY AND SAFETY OF THE STRUCTURE DURING CONSTRUCTION UNTIL PERMANENT MEMBERS ARE COMPLETELY INSTALLED.
- DETAILS SHOWN ON THE DRAWINGS ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS.
- THE CONTRACTOR SHALL MAKE NO STRUCTURAL CHANGES WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT/ENGINEER.
- NO STRUCTURAL MEMBERS ARE TO BE CUT FOR PIPES, DUCTS, ETC. UNLESS SPECIFICALLY DETAILD.
- WHERE BUILDING LOCATIONS ARE DETERMINED TO BE WIND-BORNE DEBRIS REGIONS, ALL EXTERIOR GLAZED OPENINGS SHALL BE PROTECTED AGAINST WIND-BORNE DEBRIS BY THE INSTALLATION OF STRUCTURAL PANELS OR IMPACT-RESISTANT GLASS. THESE OPENING PROTECTIONS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, RESIDENTIAL, 2014 EDITION.

## GENERAL PLAN NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE 2020, SEVENTH EDITION, OF THE FLORIDA BUILDING CODE, RESIDENTIAL, FOR ONE AND TWO FAMILY DWELLINGS FOR THE AREA WITHIN THE SEMINOLE COUNTY JURISDICTION, UPON WHICH THE RESIDENCE IS TO BE BUILT.
- ROUGH OPENING JAMB OF ALL DOORS SHALL BE A MINIMUM OF 6" FROM ANY CORNER UNLESS OTHERWISE NOTED.
- ANY DOOR LOCATED BETWEEN TWO WALLS SHALL BE CENTERED AND BE EQUAL ON EACH SIDE UNLESS OTHERWISE NOTED.
- ALL POCKET DOORS SHALL BE FRAMED USING 2x6 FRAMING UNLESS OTHERWISE NOTED.
- PROVIDE 2x4 BLOCKING AT WALLS TO ALLOW FOR PROPER INSTALLATION OF APPLIANCES OR ACCESSORIES, WHERE INDICATED.
- ALL EXTERIOR WALL DIMENSIONS ARE TO OUTSIDE FACES OF CMU WALLS AND EXTERIOR STUD WALLS. INTERIOR DIMENSIONS ARE TO FACE OF STUDS UNLESS NOTED OR SHOWN OTHERWISE.
- PROVIDE FIRE BLOCKING AT WALL PARTITIONS OVER 10'-0" IN HEIGHT, SOFFITS, BEARING WALLS, FLOOR AND CEILING JOIST LINES, AND OTHER LOCATIONS THAT COULD ALLOW PASSAGE OF FLAMES.
- SHOWER AND BATHTUB WALLS AND CEILINGS SHALL BE CONSTRUCTED OF DENSE, NON-ABSORBENT WATER-PROOF GYPSUM BOARD TO FULL HEIGHT OF WALLS.
- THE FOLLOWING SHALL BE PROVIDED UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS:
  - SOLID FULL-DEPTH BLOCKING AT ENDS AND AT EACH SUPPORT OF JOISTS AND RAFTERS.
  - DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
  - DOUBLE HEADER AND TRIMMER JOISTS AT ALL FLOOR OPENINGS.
  - TRIPLE 2x8 HEADERS W/ 1/2" PLWOOD, BETWEEN THE 2x8s (TYP) AT ALL EXTERIOR DOOR AND WINDOW OPENINGS, AND AT LOAD-BEARING LOCATIONS OR 3-1/2" X 4-3/8" LSL UNDER 4'-0" WIDTHS.
  - MINIMUM OF TWO FULL STUDS BEARING AT ALL BEAMS AND HEADERS OVER 4'-0".
  - MINIMUM OF THREE FULL STUDS BEARING AT ALL BEAMS AND HEADERS OVER 10'-0".
  - METAL JOIST HANGERS AT ALL "FLUSH" BEAMS AND HEADERS.SEE STRUCTURAL DRAWINGS FOR OTHER DATA. STRUCTURAL DRAWINGS SUPERSEDE THESE SPECS.
- PROVIDE A CONTINUOUS BEAD OF GLUE UNDER ALL EXTERIOR WALL PLATES.

## GENERAL ELEVATION NOTES

- FINISH GRADE SHALL SLOPE AWAY FROM STRUCTURE AS TO PREVENT RUNOFF WATER COLLECTING AGAINST STRUCTURE.
- ALL STAIR AND PORCH HANDRAILS SHALL BE 36" ABOVE TREAD NOSING OR PORCH FLOOR.
- ALL RAILING PICKETS SHALL BE SPACED IN SUCH A WAY AS TO DISALLOW PASSAGE OF A 4" SPHERE AS REQUIRED BY CODE.
- OWNER SHALL SELECT EXACT EXTERIOR FINISHES AND COLORS AFTER REVIEW WITH CONTRACTOR, THE CITY AND HPB, WHERE APPLICABLE.
- CONTRACTOR SHALL VERIFY FINSH GRADE REQUIREMENTS AND FOOTING AND FOUNDATION STEPS REQUIRED FOR SITE.

## GARAGES AND CARPORTS

- SECTIONAL GARAGE DOOR - DESIGN BASIS: CLOPAY, - BRIDGEPORT STEEL -
- <https://www.clopaydoor.com/bridgeport/#> - Insulated, narrow recessed panel with S22 short upper windows; ultra-grain oak, medium finish; seeded glass; spear lift handles. Plus LiftMaster Elite Series, Electric opener
  - ENGINEERED FOR 140 MPH MIN. WIND LOAD
  - DETAIL TO BE SUPPLIED BY GARAGE DOOR SUPPLIER
  - DETAIL TO BE ATTACHED TO PERMIT PACKAGE BY BUILDER

## TERMITE PROTECTION TO BE USED

- BORA-CARE TERMITICIDE  
SUBTERRANEAN TERMITE PRETREATMENT ONLY APPLIED TO GROUND FLOOR WOOD SURFACES. THIS TREATMENT SERVES AS A PRIMARY TREATMENT TO PREVENT SUBTERRANEAN TERMITES. PRETREATMENT TO BE PERFORMED AT A POINT DURING THE CONSTRUCTION PROCESS AFTER THE "DRIED-IN" STAGE WHEN ALL STRUCTURAL WOOD AND SHEATHING IN PLACE, YET PRIOR TO INSTALLATION OF INSULATION AND WALL COVERINGS. TREATMENT IS PURSUANT TO CHAPTER 482, FLORIDA STATUTES AND FLORIDA BUILDING CODE (FRC) SECTION R320

## CONCRETE

- REFER TO SHEET S1 FOR STRUCTURAL REQUIREMENTS.
- PROVIDE 45-MIL, MINIMUM THICKNESS, VAPOR BARRIER, OVERLAP AND SEAL PER MANUFACTURER'S RECOMMENDATIONS.

## MASONRY

- REFER TO SHEET S1 FOR STRUCTURAL REQUIREMENTS.
- EXTERIOR STONE VENEER, DESIGN BASIS: True Slate Stone - "Ledger Stone, Golden Harvest," as distributed by Floor & Décor, with premade corners. USE LATICRETE THIN BRICK MORTAR . <https://www.flooranddecor.com/ledgers-stone?prefn1=productType&camprefv1=Slate>

## SITework

- PRESUMPTIVE SOIL BEARING CAPACITY IS 2000 PSF ON UNDISTURBED SOIL. REMEDIATE SOIL TO THIS CAPACITY. ALL CONCRETE FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR ENGINEERED FILL. TOP OF FOOTINGS SHALL BE 1'-0" BELOW FINISH GRADE (MIN).
- ELEVATIONS SHOWN ON YOUR SITE DRAWINGS SHOULD BE MINIMUM REQUIRED DEPTHS.
- NO EXCAVATION SHALL BE MADE WHOSE DEPTH BELOW THE FOOTING IS GREATER THAN 1/2 THE HORIZONTAL DISTANCE FROM THE NEAREST EDGE OF THE FOOTING.
- ALL BACKFILL AT STRUCTURES, SLABS, STEPS, AND PAVEMENTS SHALL BE CLEAR OF GRANULAR FILL. PLACE IN 8" LAYERS AND COMPACT TO 95% MAXIMUM DRY DENSITY DETERMINED IN ACCORDANCE WITH ASTM D1557. THE BUILDING SITE SHALL BE KEPT DRY SO THAT EROSION WILL NOT OCCUR IN THE FOUNDATIONS.
- COMPACTION BY FLOODING OR JETTING IS STRICTLY PROHIBITED.
- DO NOT BACKFILL UNTIL SLABS HAVE CURED OR HAVE BEEN PROPERLY BRACED. (WHERE APPLICABLE)
- EXCAVATIONS TO BE A MINIMUM OF 3'-0" BEYOND NEW FOOTING LINE.
- THE GENERAL CONTRACTOR MUST TAKE MEASURES TO CONTROL SOIL EROSION AS PER ALL LOCAL AND STATE REQUIREMENTS.
- THESE BUILDINGS ARE NOT DESIGNED TO BE CONSTRUCTED WITHIN A FLOOD ZONE. CONTRACTOR IS TO VERIFY THE ELEVATIONS OF THE FINISHED FLOOR SLABS WITH THE SIGNED AND SEALED SURVEY WHICH COMPLIES WITH ALL LOCAL CODES HAVING JURISDICTION, INCLUDING ALL APPLICABLE STATE, CITY, AND COUNTY BUILDING AND ZONING CODES.

## REINFORCING STEEL

- REFER TO SHEET S1 FOR STRUCTURAL REQUIREMENTS.

## FLOOR FRAMING AND SHEATHING NOTES

- PLACE (2) STUDS (MINIMUM) UNDER ALL BEAM AND HEADER BEARING POINTS UNLESS NOTED OTHERWISE ON THE PLANS.
- UNLESS OTHERWISE SPECIFIED BY THE JOIST/TRUSS MANUFACTURER OR PER THE STRUCTURAL DRAWINGS, USE THE SIMPSON CONNECTORS AS SHOWN IN THE ARCHITECTURAL AND STRUCTURAL DETAILS.
- ALL PENETRATIONS THROUGH JOISTS TO BE IN ACCORDANCE WITH JOIST MANUFACTURER SPECIFICATIONS. DESIGN BASIS FOR FLOOR TRUSSES BY CHOICE OF ELFRINK CONSTRUCTION. ROOF FOR BARN ARE HAND FRAMED WOOD JOISTS/RAFTERS.
- TYPICAL FLOOR SHEATHING, WHERE APPLICABLE, SHALL BE 3/4" (MINIMUM) T&G ADVANTECH DECKING NAILED WITH 8D NAILS AT 6" O.C. AT ALL PANEL ENDS, SUPPORT EDGES AND AT ALL BLOCKING; 10D AT 10" O.C. ALONG INTERMEDIATE FRAMING MEMBERS. NAILING SHALL BE SPACED AT 3/8" MINIMUM FROM EDGE OF PANEL AND 1/8" SPACING AT ALL BUTT JOINTS.
- ALL 3/4" FLOORS (BARN LOFT, ONLY) SHALL BE GLUED AT ALL JOISTS AND BETWEEN ALL TONGUE AND GROOVES.
- LAY SHEATHING WITH FACE GRAIN AT RIGHT ANGLES TO FRAMING AND STAGGER END JOINTS. APPLY CONSTRUCTION ADHESIVE AS PER MANUFACTURER'S SPECIFICATIONS.
- BLOCK JOISTS SOLID AT ALL BEARING POINTS.
- PROVIDE PRESSURE TREATED LUMBER AND FOAM FOR ALL SILLS, PLATES, BANDS, AND ANY OTHER APPLICATIONS WHICH CONTACT MASONRY.
- SILL PLATE OR FLOOR SYSTEM, IF REQUIRED, SHALL BE ANCHORED WITH 1/2" DIAMETER BOLTS, OR SILL TIES PLACED 6'-0" O.C. AND NOT MORE THAN 12" FROM EACH CORNER, BOLTS SHALL EXTEND A MINIMUM OF 12" INTO MASONRY OR 7" INTO CONCRETE.
- EXTERIOR SHEATHING, DESIGN BASIS: HARDIE PLANK BOARD AND BATTEN AND HARDIE TRIM, EXTERIOR SOFFITS WHERE APPLICABLE - HARDIE BEAD BOARD SHEETS - INSTALL PER ALL MANUFACTURER'S REQUIREMENTS.

## INSULATION NOTES

- THESE BUILDINGS SHALL BE CONSTRUCTED IN SUCH A WAY AS TO CONFORM TO ENERGY STAR STANDARDS, ONLY IF REQUIRED BY THE COUNTY AND SHALL BE TESTED BY A LICENSED INDEPENDENT HERS RATER SO THAT THEY WILL QUALIFY FOR ANY CERTIFICATIONS AND DISCOUNTS AVAILABLE. PLEASE ASK QUESTIONS TO THE ARCHITECT OR VISIT [www.energystar.gov](http://www.energystar.gov)
- NO MINIMUM INSULATION REQUIREMENTS ARE NECESSARY FOR THESE TWO BUILDINGS AND ARE THE OWNERS'S/CONTRACTOR'S OPTION, AS FOLLOWS: EXTERIOR CMU WALLS - 1 1/2" RIGID POLY ISO BOARDS, BETWEEN THE FURRING, UNDER THE HARDIE BOARD AND BATTEN FINISHED SURFACE. -R-19. AT THE WOOD FRAMED LOFT WALLS, DESIGN BASIS: EQUAL TO OWENS CORNING R-19 FOIL FACED BATT INSUL.; LOFT CEILINGS - R-30, UNDERSIDE OF ROOFDECK, DESIGN BASIS: TAILORED FOAM, R30, WITH A SPRAYED ON THERMAL BARRIER. BETWEEN FLOORS. - NOT REQUIRED.
- INSULATE AROUND EXTERIOR WALL AND FLOOR PENETRATIONS UTILIZING FIBERGLASS, CELLULOSE OR SPRAY FOAM. (I.E. - ELECTRICAL OUTLETS/SWITCHES, HOSE BIBS, TUB/SHOWER DRAINS AND VENT PIPES)
- INSULATE AROUND ALL EXTERIOR WINDOWS AND DOORS UTILIZING FIBERGLASS, CELLULOSE OR SPECIAL SPRAY FOAM FOR WINDOWS AND DOORS PRIOR TO THE INSTALLATION OF THE GYPSUM BOARD.
- A. INSTALL A FOIL BASED OSB ROOF SHEATHING (SOLARBOARD OR TECHSHIELD) IF A FIBERGLASS OR CELLULOSE INSULATION IS TO BE UTILIZED. B. INSTALL A STANDARD OSB ROOF SHEATHING IF A SPRAY FOAM INSULATION (ICYNENE) IS TO BE UTILIZED.
- INSTALL 5 1/2" SILL FOAM CONTINUOUS UNDER ALL EXTERIOR PERIMETER SILL PLATES.
- INSULATE EXTERIOR WALLS AT TUB AND SHOWER UNITS PRIOR TO INSTALLATION.
- EXTERIOR BUILDING WRAP, ALL EXTERIOR WALLS, INCLUDING GARAGE, DESIGN BASIS: EQUAL TO DUPONT TYVEK HOMEWRAP. FOLLOW MAUNFACTURER'S INSTALLATION INSTRUCTIONS.

## WINDOW AND DOOR NOTES

- DOOR AND WINDOW HEAD HEIGHTS SHALL BE EQUAL UNLESS OTHERWISE NOTED. WINDOW SIZES MAY VARY WITH TYPE AND MANUFACTURER.
- ALL WINDOWS AND DOORS SHALL BE FULLY FLASHED AND CAULKED WATERTIGHT. USE WINDOW TAPE AT EACH WINDOW STARTING AT THE BOTTOM, SIDES, THEN TOP. INSTALL PER WINDOW MANUFACTURER'S WATERPROOFING INSTRUCTIONS. INSTALL AND SHIM PER MANUFACTURER'S SPECIFICATIONS.
- ALL WINDOWS AND DOORS ARE TO BE STORED ON SITE PROPERLY PRIOR TO INSTALLATION AS TO PREVENT DAMAGE TO UNITS.
- ALL WINDOWS AND DOORS SHALL BE SHIMMED AT ALL POINTS PROVIDED BY THE MANUFACTURER.
- SET ALL WINDOW FLANGES AND DOOR FLANGES IN A CONTINUOUS BEAD OF SILICONE THEN NAIL FLANGES AS REQUIRED BY MANUFACTURER.

## TIMBER

- SEE SHEET S1 FOR STRUCTURAL REQUIREMENTS.
- ALL LUMBER EXPOSED TO WEATHER, OR AGAINST SOIL, CONCRETE OR MASONRY MUST BE PRESSURE TREATED.
- FOR ROOFS, SHEATHING SHALL BE APA RATED 3/4" PT, T&G PWD AT PAVILION, AND 5/8" OSB EXPOSURE-1 OR 5/8" CDX PLYWOOD SHEATHING AT THE BARN. PROVIDE PANEL-CLIPS AT MID-SPAN FOR SPANS GREATER THAN 16" ON CENTER AT ALL UNBLOCKED EDGES OF PLYWOOD SHEATHING. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- TRUSS MANUFACTURER FOR FLOOR JOIST AT BARN SHALL PROVIDE COMPLETE CALCULATIONS SHOWING INTERNAL LAYOUT, MEMBER FORCES AND STRESS CONTROL POINTS AND SUBMIT TO THE BUILDING DEPARTMENT FOR APPROVAL AND TO THE STRUCTURAL ENGINEER FOR REVIEW. ALL CALCULATIONS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL CIVIL OR STRUCTURAL ENGINEER REGISTERED IN THE STATE OF THE PROPOSED CONSTRUCTION.
- THE CONNECTIONS FOR ALL TIMBER EXPOSED TO EXTERIOR ELEMENTS OR TO PRESSURE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED METAL, ONLY.
- ALL SHEET METAL FRAMING CONNECTORS SHOWN ON THE PLANS SHALL BE "SIMPSON" STRONG-TIE BY SIMPSON CO., OR EQUAL. UNLESS NOTED OTHERWISE ON PLANS, INSTALL CONNECTIONS WITH THE SIZE AND NUMBER OF BOLTS/NAI LS AS RECOMMENDED BY THE MANUFACTURER IN THE LATEST CATALOG.

## OTHER PRODUCT DESIGN BASIS

- NOT USED
- HURRICANE STRAPPING: QUICKTIE AND SIMPSON (see structural)
- GARAGE DOOR: CLOPLAY (see garages and carports above) FL PRODUCT APPROVAL # FL16546R14
- DOORS: THERMA-TRU SMOOTH STAR (see door schedule) #FL887L5
- WINDOWS: PLY GEM SH VINYL, SERIES 1500 (see window schedule) #FJ16103R-8
- BATT INSUL: NOT REQUIRED
- ROOF INSUL DESIGN BASIS, BARN ONLY - (OWNER'S OPTION, not required): TAILORED FOAM R-30 UNDER ROOF DECK (OF BARN) WITH THERMAL BARRIER
- ROOF UNDERLAYMENT DESIGN BASIS: RHINOROOF, BY INTERWRAP - #FL15216-R2
- ROOF SHINGLES DESIGN BASIS: CERTAINTED LANDMARK, 3 TAB ASPHALT SHINGLES - #FL544-R10
- HARDIE PRODUCTS: BOARD AND BATTEN SIDING& TRIM AT BARN ONLY.
- PVC ORNAMENTAL COLUMN WRAP: CHEYENNE TAPERED SQUARE COLUMNS WITH TUSCAN BASE AND CAP (See wall sections)

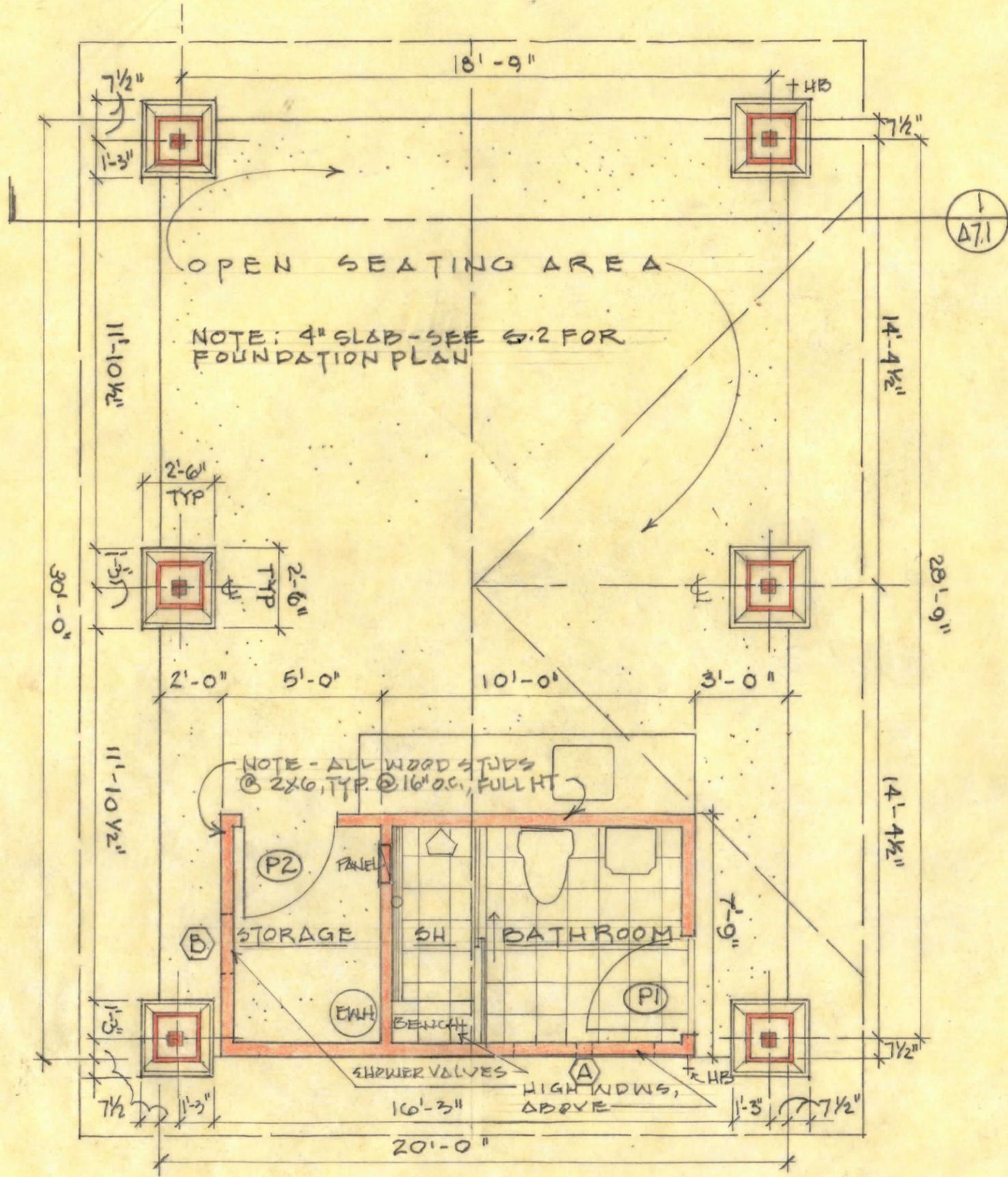
Cascante Pavilion & Garage/Barn

## MILZARCH, LLC

JERRY WALKER MILLS, SR.  
701 WEST THIRD ST. SANFORD, FL.  
32771  
407 921 8795 MILZARCH@GMAIL.COM  
LICENSE #AR0008314.

Specs  
Summary  
A1.1

12.07.21



1 FLOOR PLAN - PAVILION  
 A2.1 1/4" = 1'-0"

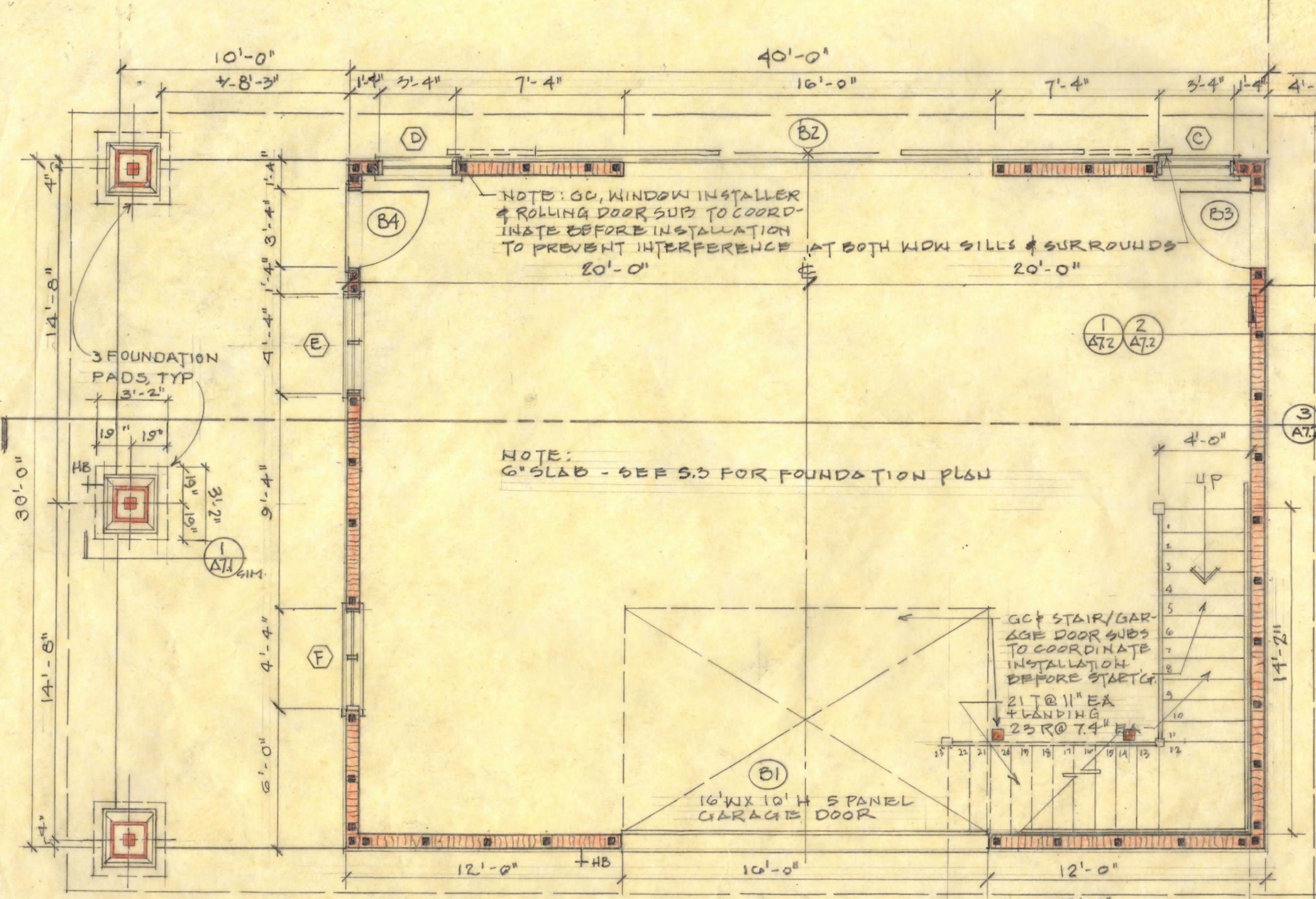
ROGER AND JUSTINE CASCANTE  
 NEW  
 KITCHEN PAVILION AND GARAGE  
 2290 Beverly Street, Oviedo, FL 32762

MILZARCH, LLC  
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 LICENSE # AR0009314

PAVILION FLOOR PLAN

A2.1

8.2.21 3.28.21



NOTE: GC, WINDOW INSTALLER & ROLLING DOOR SUBS TO COORDINATE BEFORE INSTALLATION TO PREVENT INTERFERENCE AT BOTH WINDOW SILLS & SURROUNDS

NOTE: 6" SLAB - SEE S.3 FOR FOUNDATION PLAN

GC & STAIR/GARAGE DOOR SUBS TO COORDINATE INSTALLATION BEFORE START

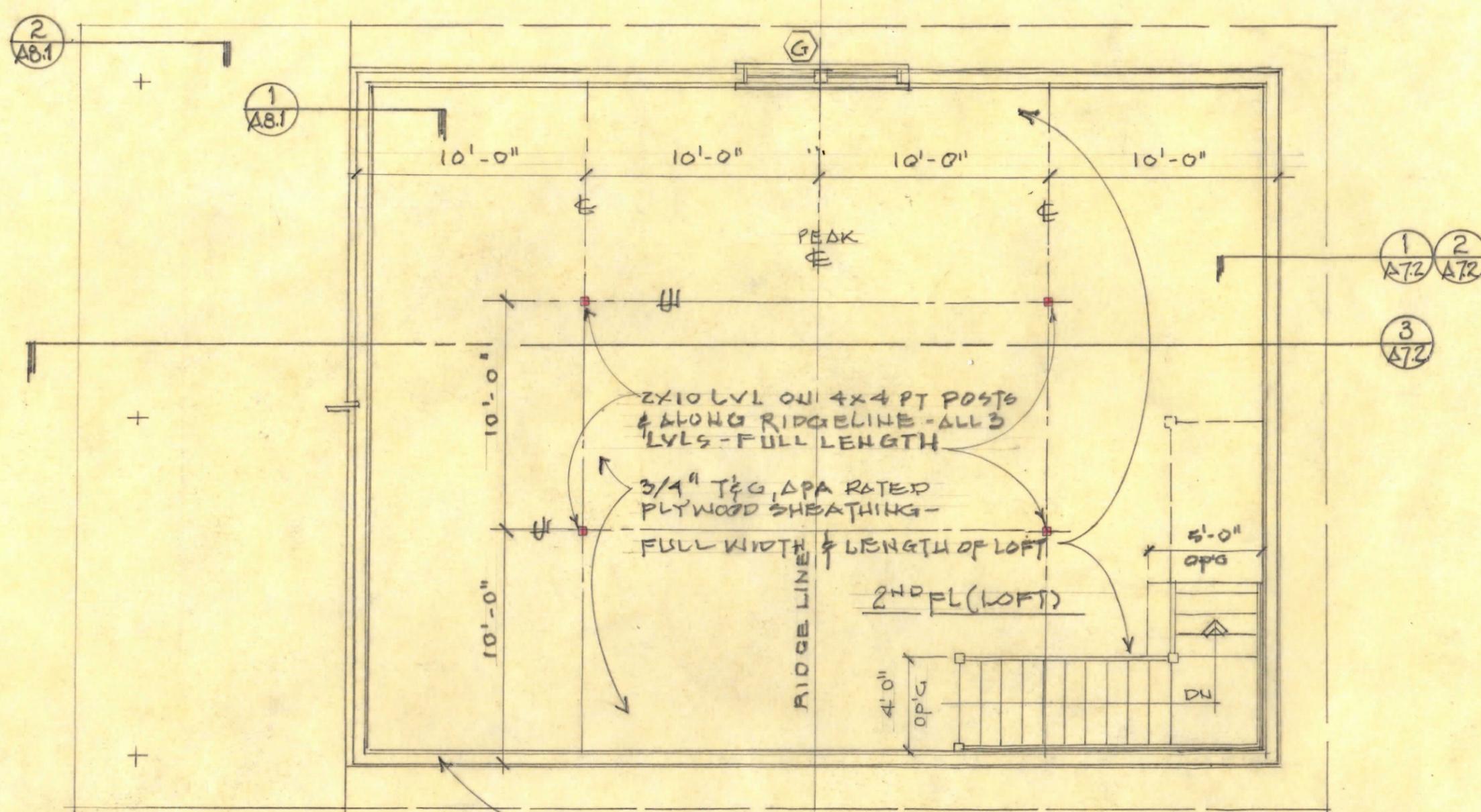
16' W X 10' H 5 PANEL GARAGE DOOR

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BARN FIRST FL. PL.  
**A2.2**

1 FLOOR PLAN - BARN  
 NORTH  
 1/4" = 1'-0"

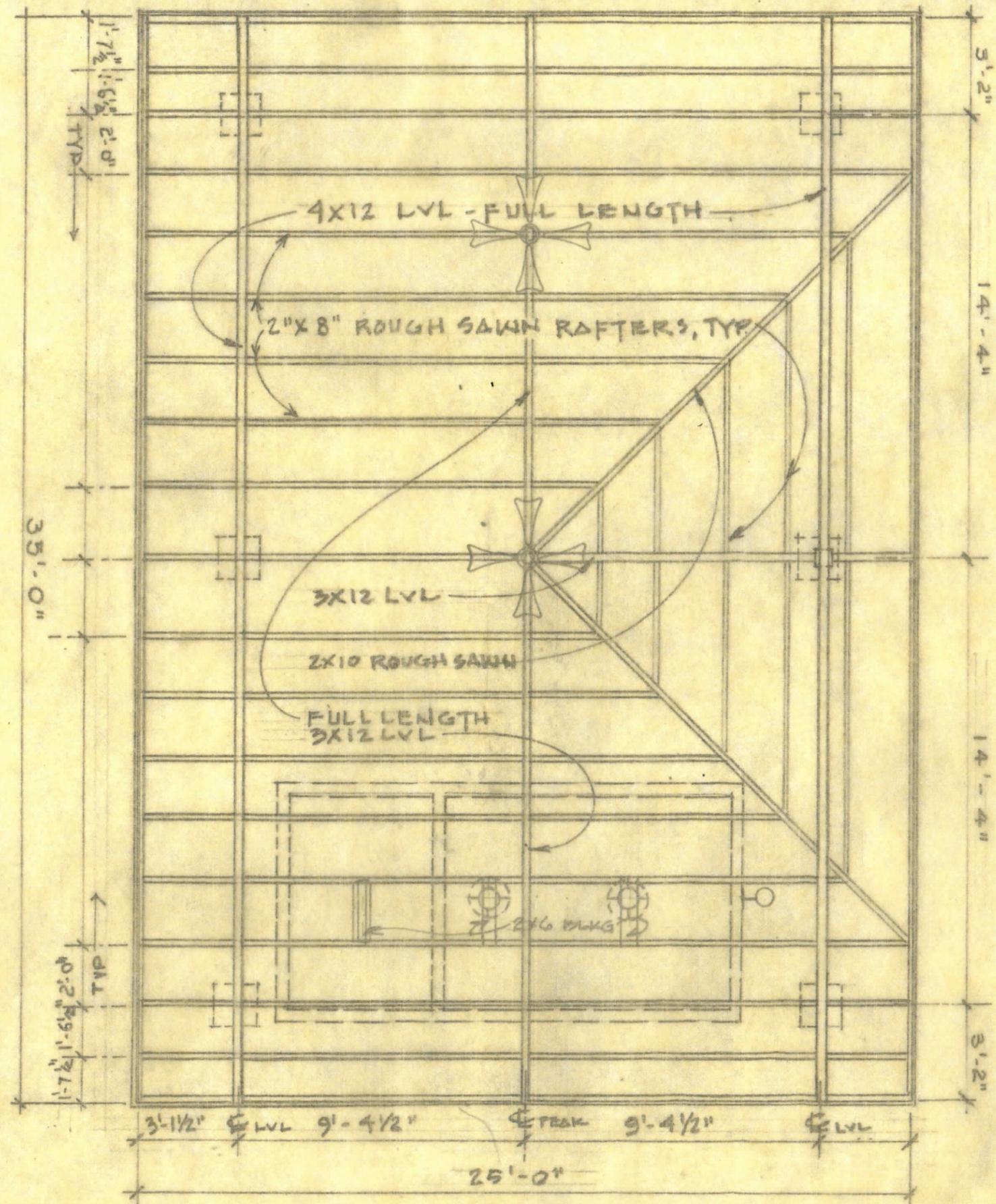


← NORTH 1 BARN - 2ND FLOOR PLAN  
A2.3 3/16" = 1'-0"

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BARN - 2ND FL PL  
A2.3



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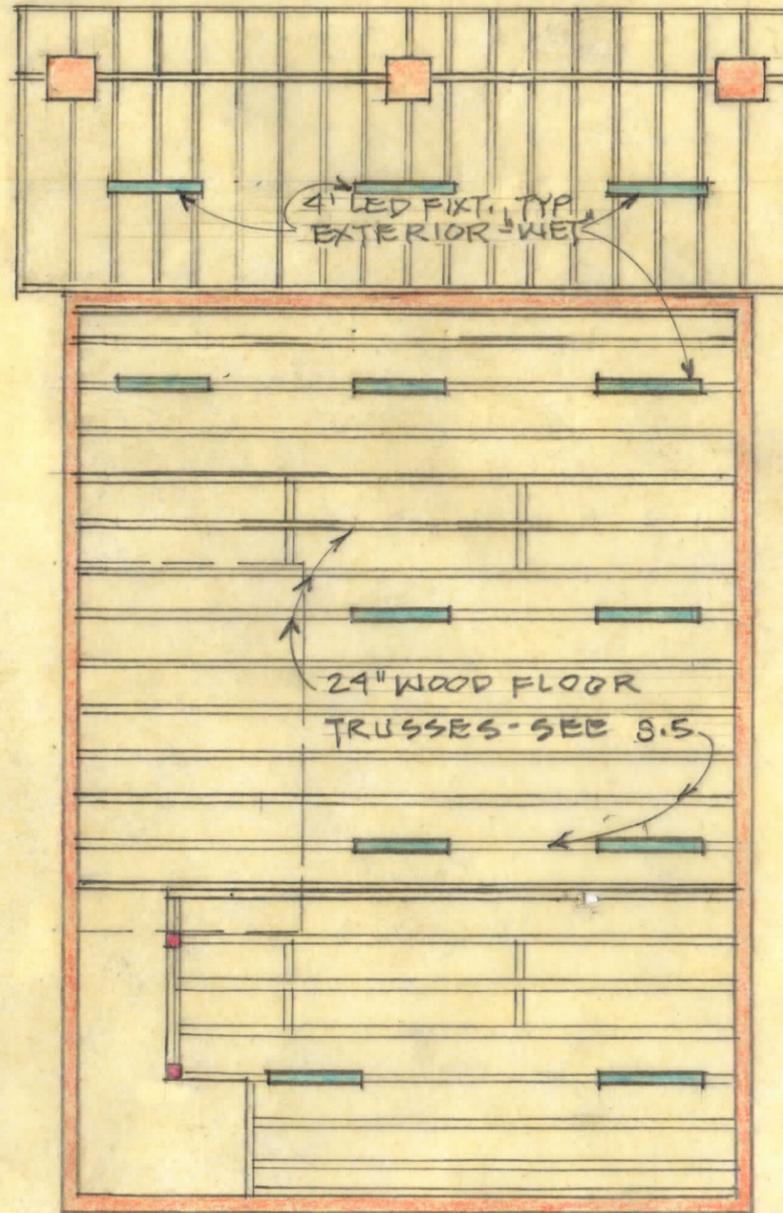
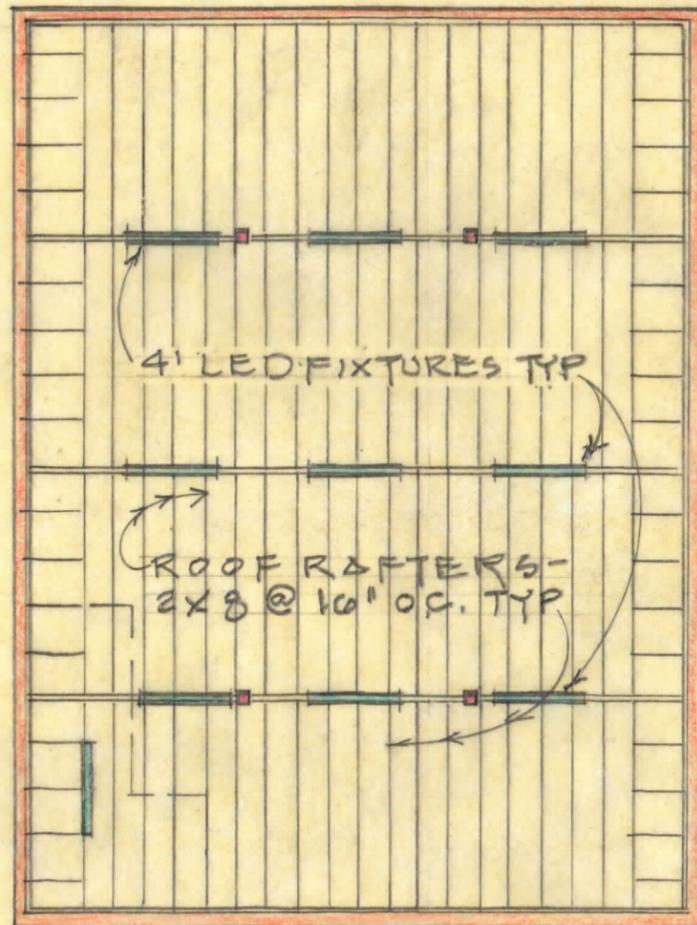
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PAVILION REFL CLG PL

**A3.1**



**1 PAVILION - REFLECTED CEILING PLAN**  
 A3.1 1/4" = 1'-0"



② BARN - 2<sup>ND</sup> FL REFL. CLG. PL  
 A3.2 1/8" = 1'-0"

① BARN - 1<sup>ST</sup> FL REFLECTED  
 A3.2 CEILING PLAN (RCP) 1/8"



SEE SH. E.3 FOR ELECTRICAL SWITCHING

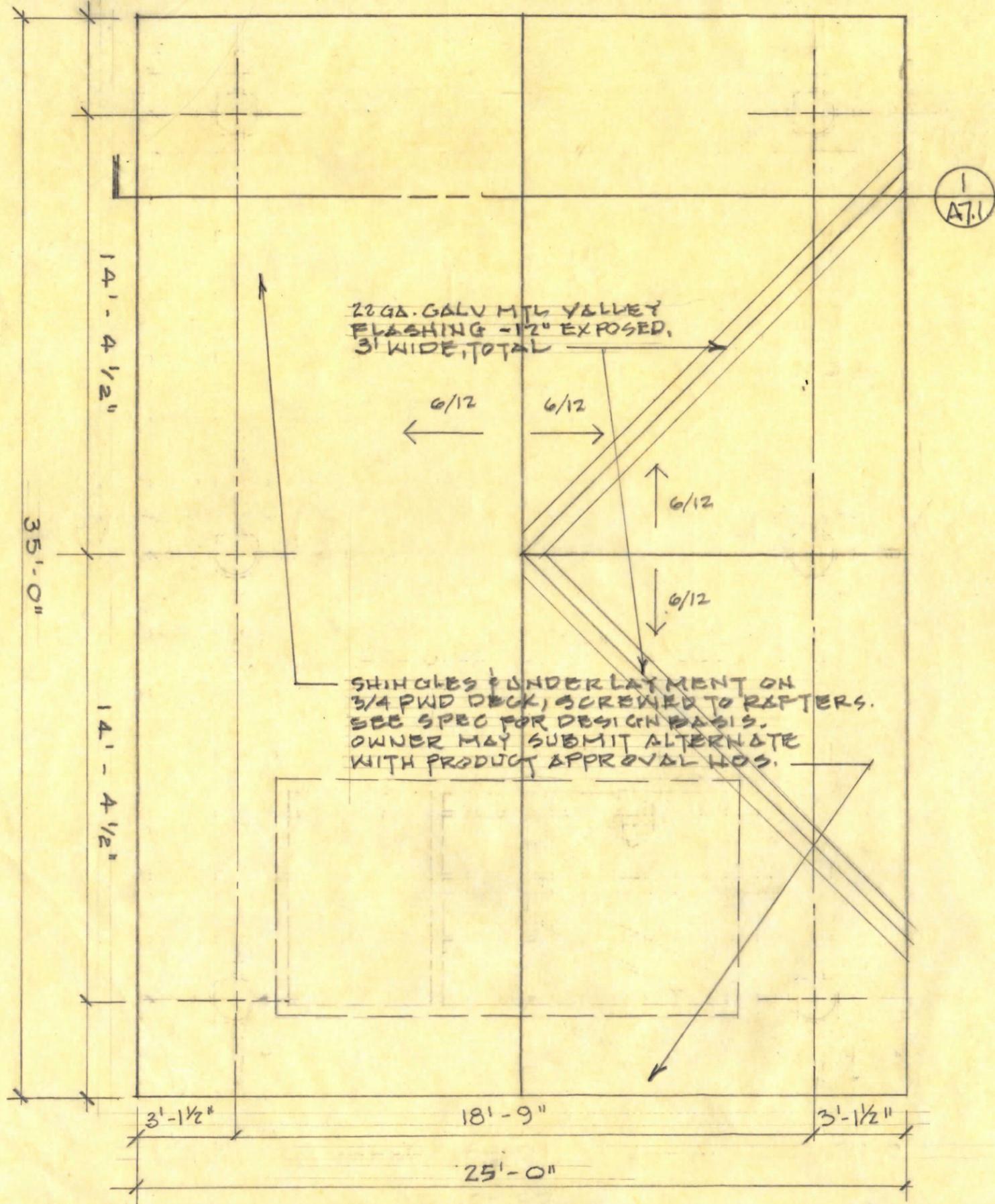
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BARN - 1<sup>ST</sup>&2<sup>ND</sup> REFL. CLG. PL.

A3.2

Rev 9/10/21



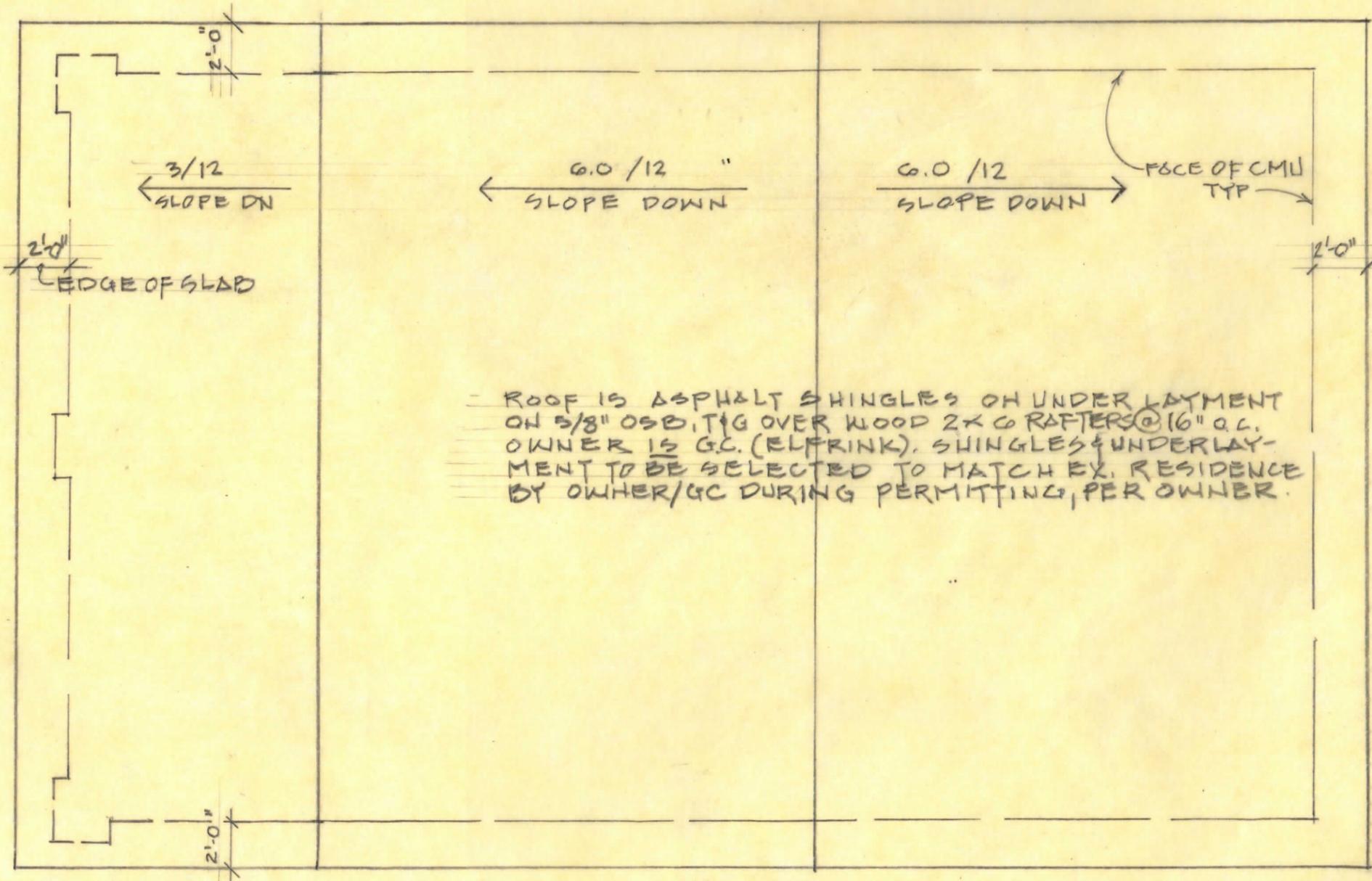
1 PAVILION ROOF PLAN  
 A4.1 1/4" = 1'-0" 

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ROOF PL PAVILION  
 A4.1



← NORTH (1) BARN - ROOF PLAN  
A4.2 3/16" = 1'-0"

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BARN ROOF PLAN  
A4.2

PEAK/RIDGE  
16'-8" +/-

12  
6 TYP

BEARING HT.  
10'-0"

3/4" SAND FINISHED  
STUCCO ON PAPERBACK  
LATH OVER HOUSE WRAP  
ON 5/8" CDX PWD. TYP,  
ALL 4 SIDES

CONT WEEP SCREED  
TYP. ALL 4 SIDES  
FIN. SLAB

0'-0"

GRADE

-4"

COUNTER BY OWNER

1  
A6.1

NORTH ELEV - PAVILION

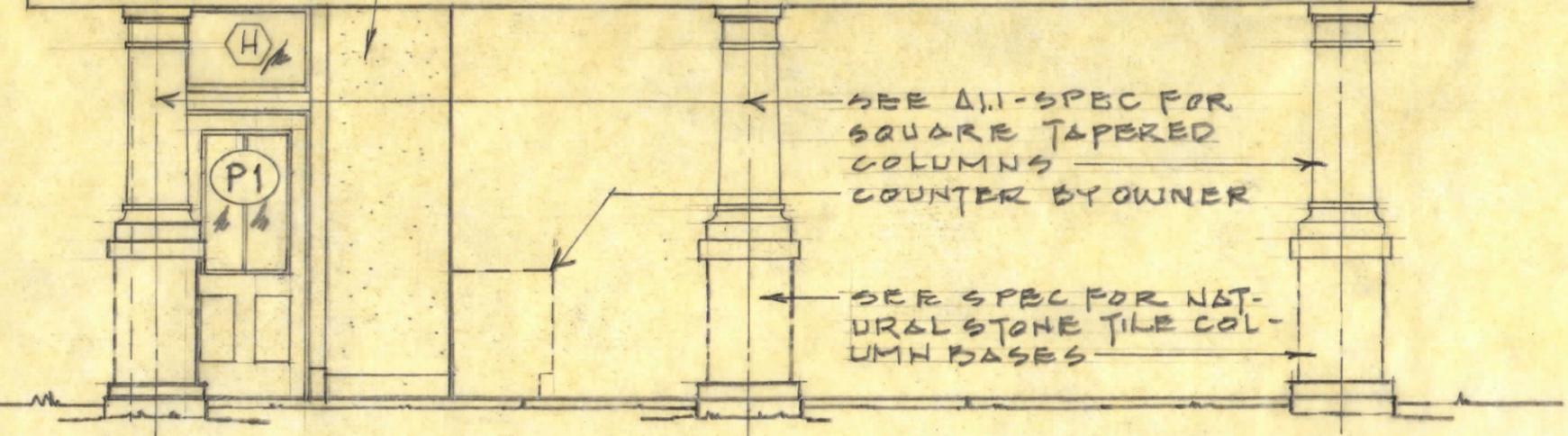
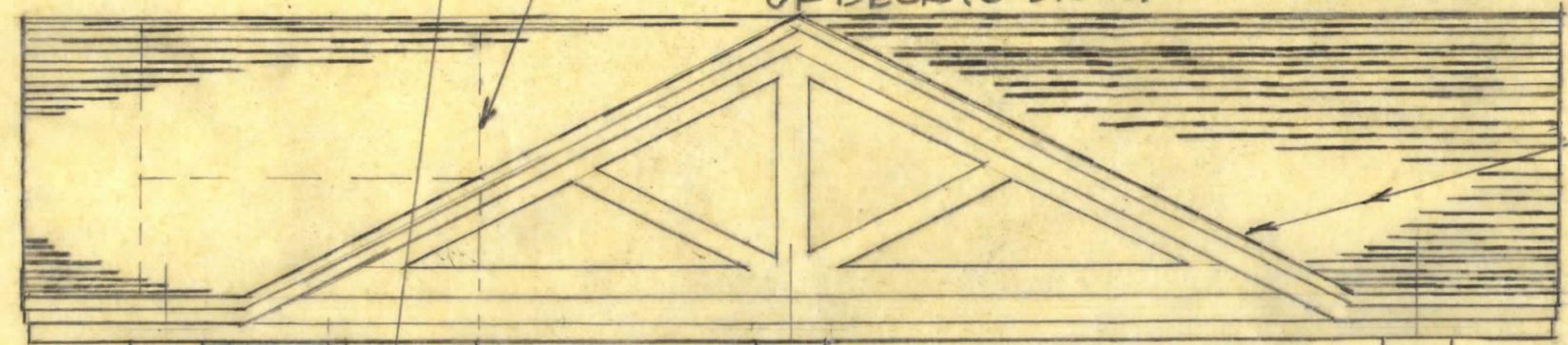
WALLS ARE FULL  
HT. TO UNDER SIDE  
OF DECK (6" STUDS)  
1/4" = 1'-0"

RIDGE  
16'-8" +/-

SEE SPEC SUMMARY  
FOR DESIGN BASIS & PRO-  
DUCT APPROVAL NOS. FOR  
SHINGLES & UNDERLAYMENT  
FINAL SELECTION & SUB-  
MITTAL, BY OWNER (TYP -  
BOTH BLDGS)

SEE A1.1 - SPEC FOR  
SQUARE TAPERED  
COLUMNS  
COUNTER BY OWNER

SEE SPEC FOR NAT-  
URAL STONE TILE COL-  
UMN BASES



2 EAST ELEVATION - PAVILION

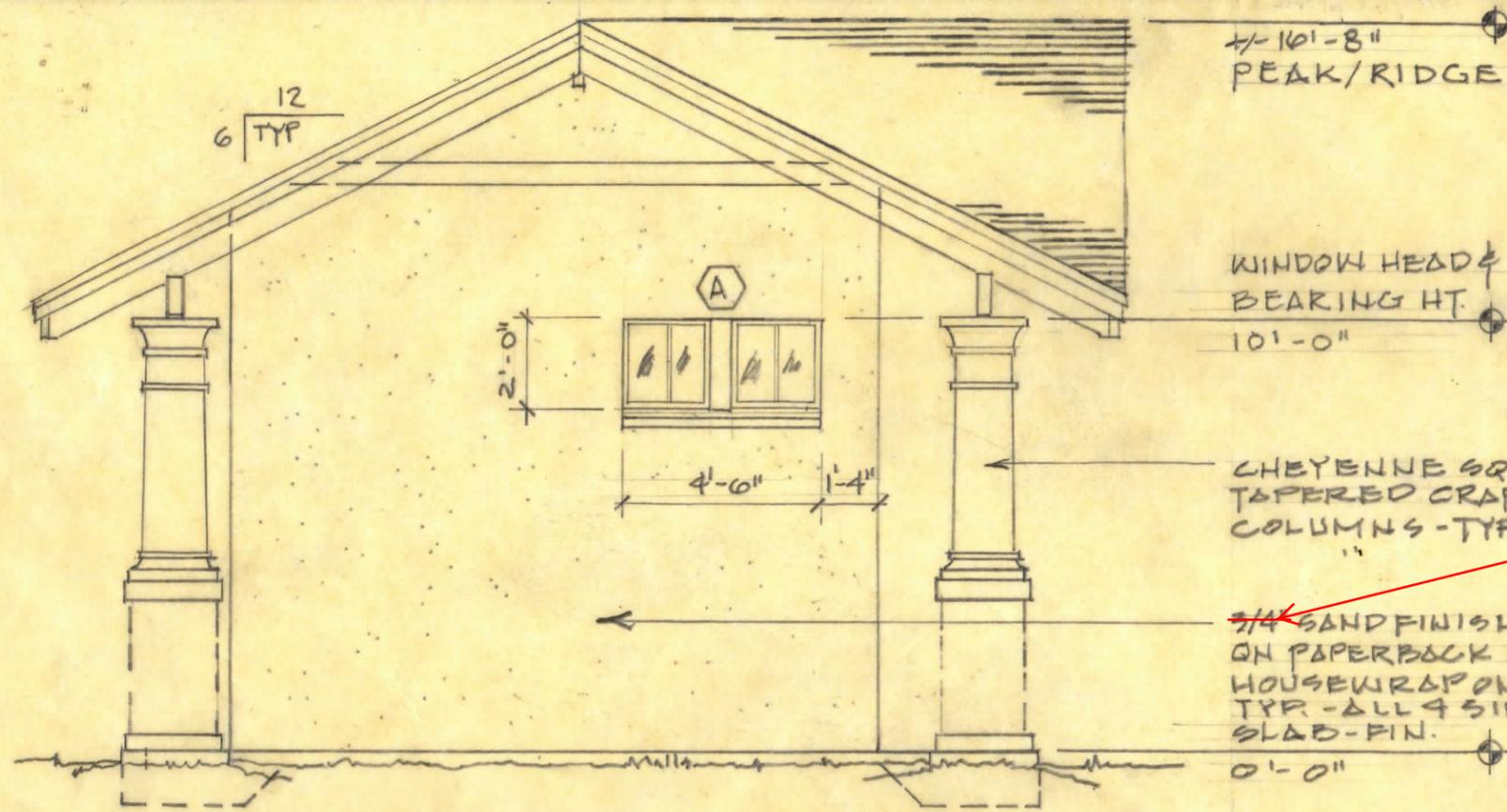
A6.1 1/4" = 1'-0"

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ELEVATIONS PAVILION N&E

A6.1



10'-8"  
PEAK/RIDGE

6/12 TYP

2'-0"

4'-6"

1'-4"

10'-0"  
WINDOW HEAD &  
BEARING HT.

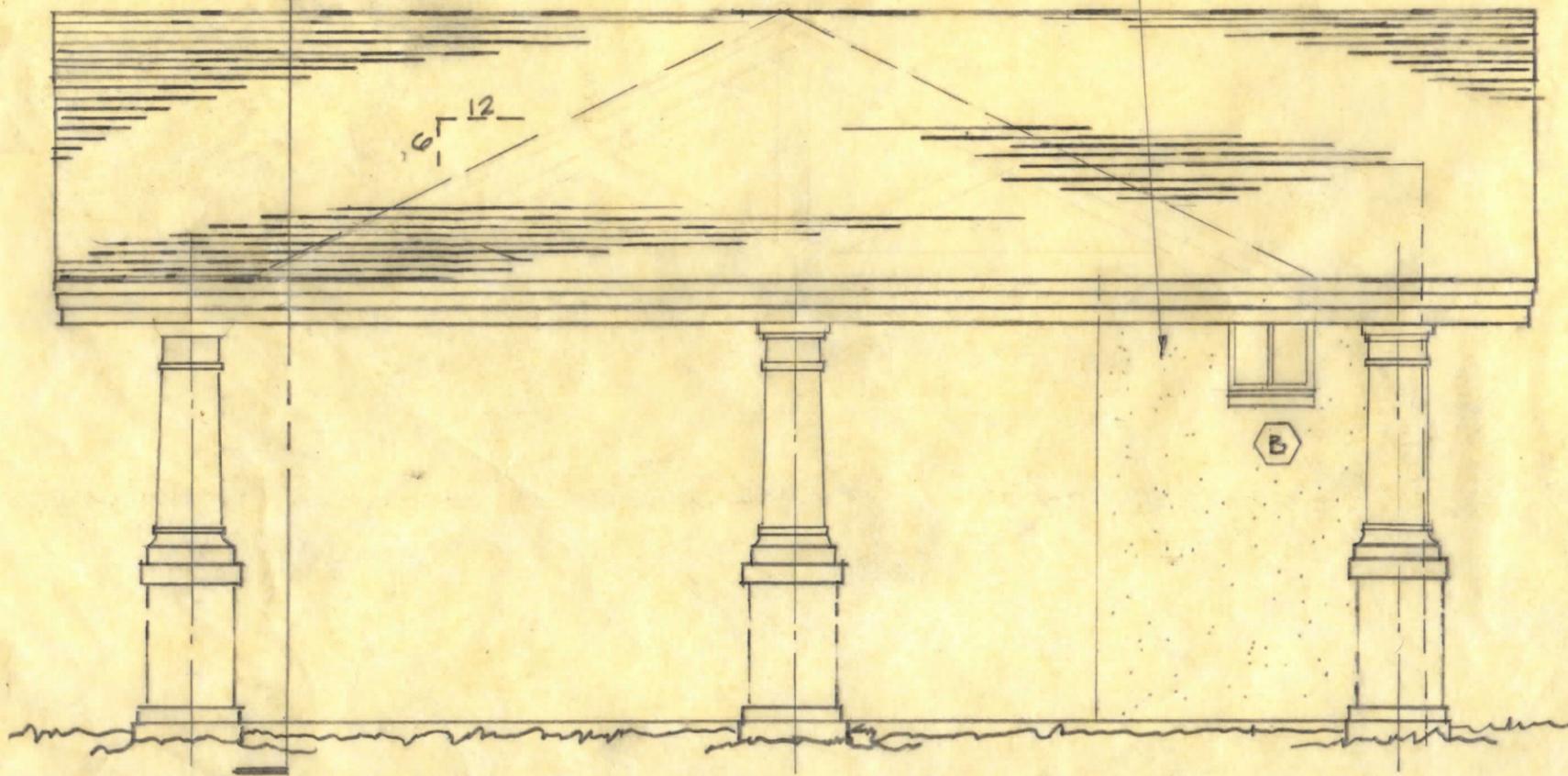
CHEYENNE SQUARE  
TAPERED CRAFTSMAN  
COLUMNS - TYP.

3/4" SAND FINISHED STUCCO  
ON PAPERBACK LATH OVER  
HOUSEWRAP ON 5/8" CORR. PWD.  
TYP - ALL 4 SIDES  
SLAB - FIN.

0'-0"

7/8" stucco over  
frame per code &  
Permit Comment

1 SOUTH ELEVATION - PAVILION  
A6.2



2 WEST ELEVATION - PAVILION  
A6.2 1/4" = 1'-0"

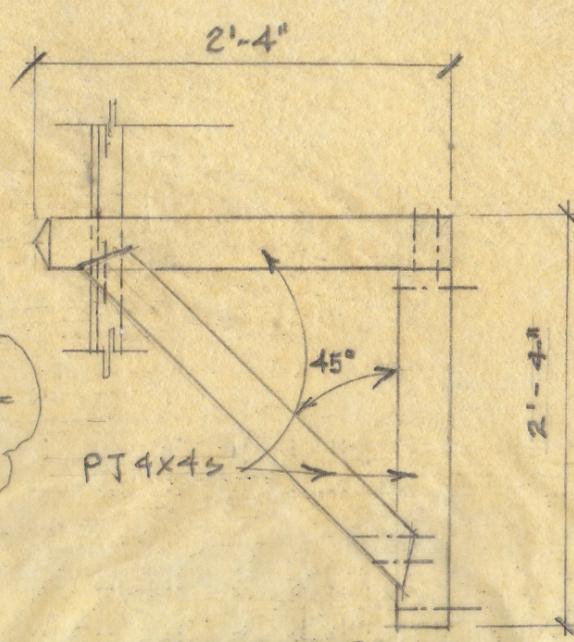
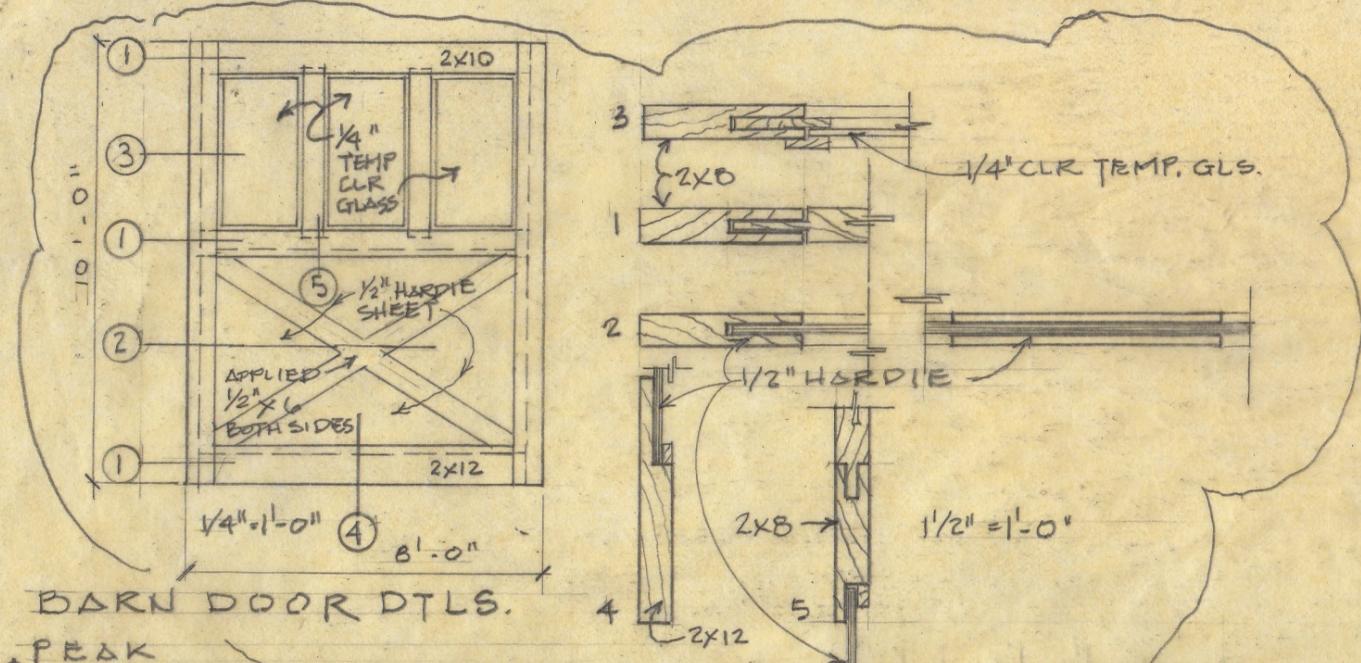
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PAVILION - ELEV - S&W

A6.2

This item has been digitally signed and sealed by [Tomas Ponce PE, FL # 0050068], on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



NOTE: TOP OF SILL TO BE MINIMUM OF 24" ABOVE FIN. FL AT LOFT.

PEAK  
25'-3" +/-

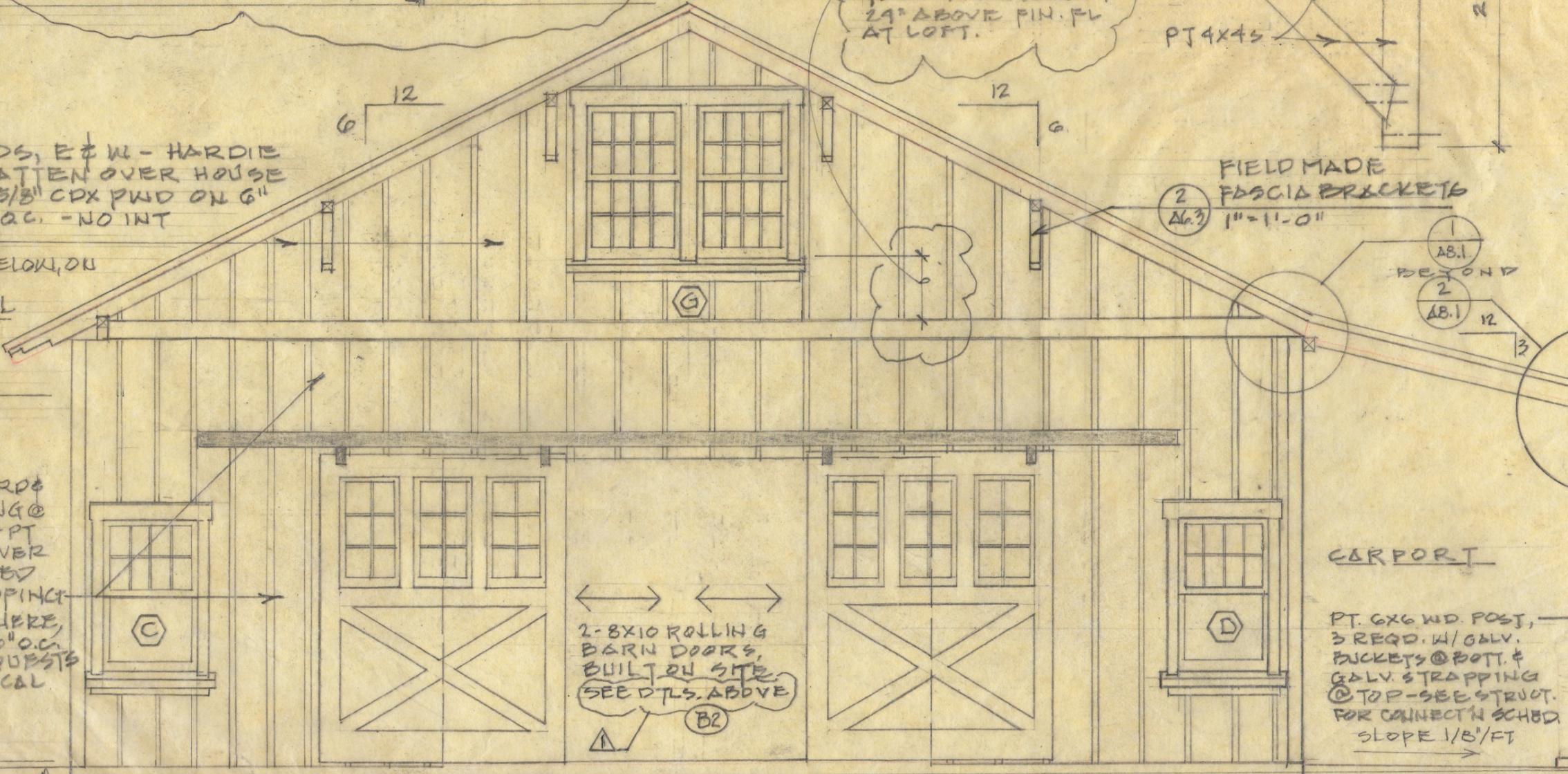
GABLE ENDS, E & W - HARDIE BOARD & BATTEN OVER HOUSE WRAP ON 5/8" CDX PWD ON 6" STUDS @ 2' O.C. - NO INT FINISHES (SEE NOTE BELOW ON BATTENS')

LOFT LEVEL  
14'-4"

CEILING  
12'-0"

HARDIE BOARD & BATTEN SIDING @ CMU ON 2x4 PT BLOCKING OVER SPRAY APPLIED WATER PROOFING AS DRAWN HERE, BATTENS @ 16" O.C. OWNER REQUESTS 12" O.C., TYPICAL

MIN. SLAB  
0'-0"

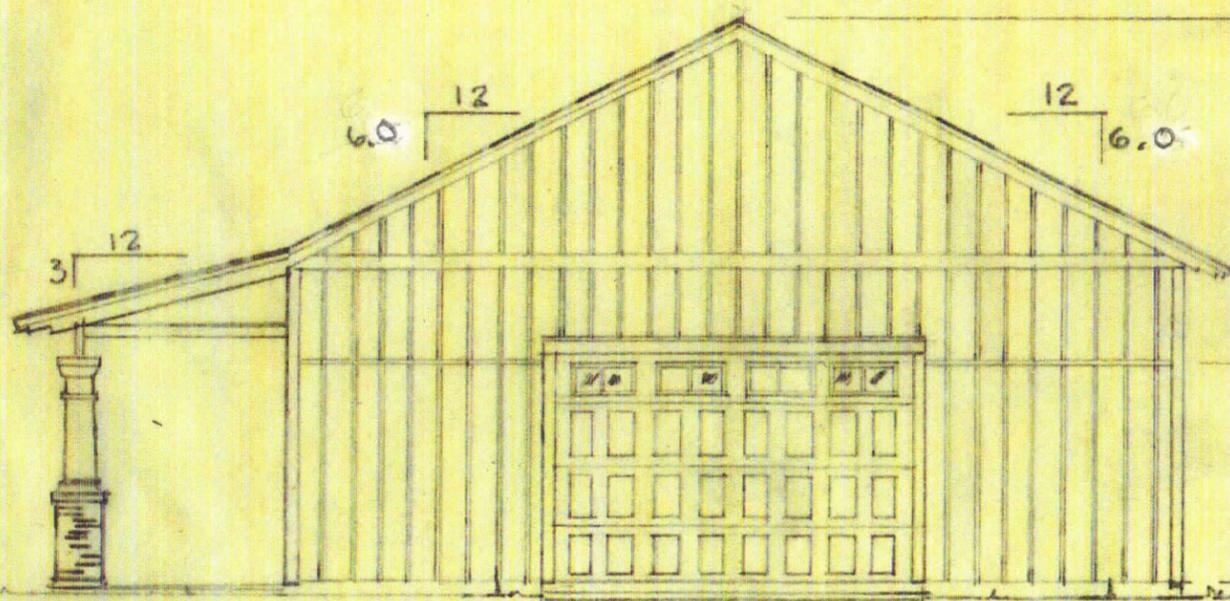


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BARN - ELEV - EAST  
**A6.3**  
REV. 6.27.22

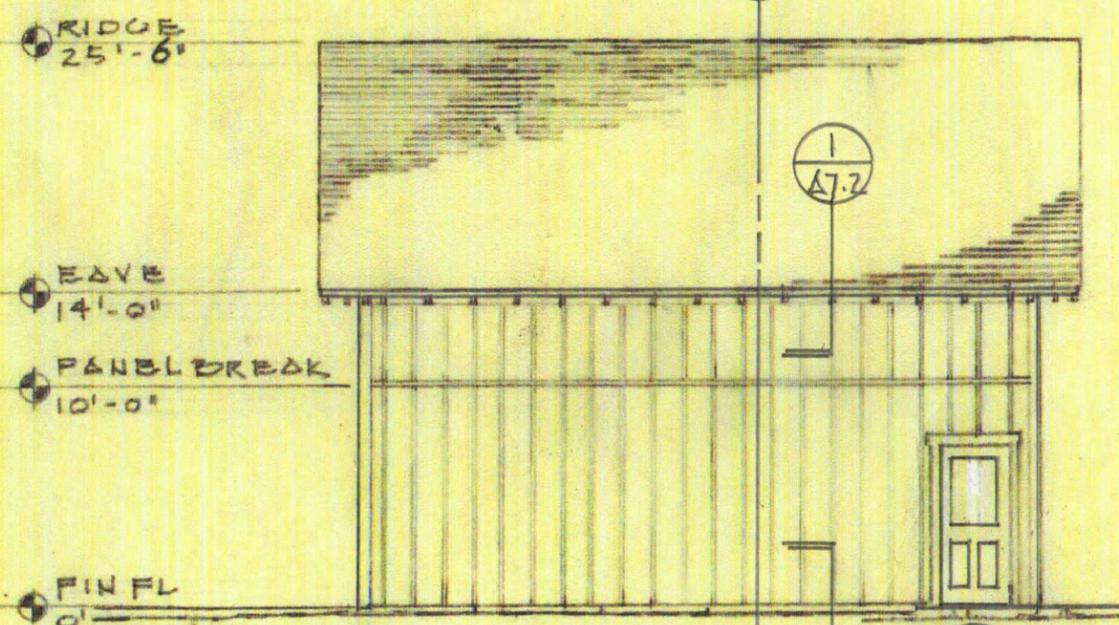
1 GARAGE EAST ELEVATION  
1/4" = 1'-0"



2 WEST ELEV. - BARN  
A6.4 1/8" = 1'-0"



3 NORTH ELEV. - BARN  
A6.4 1/8" = 1'-0"

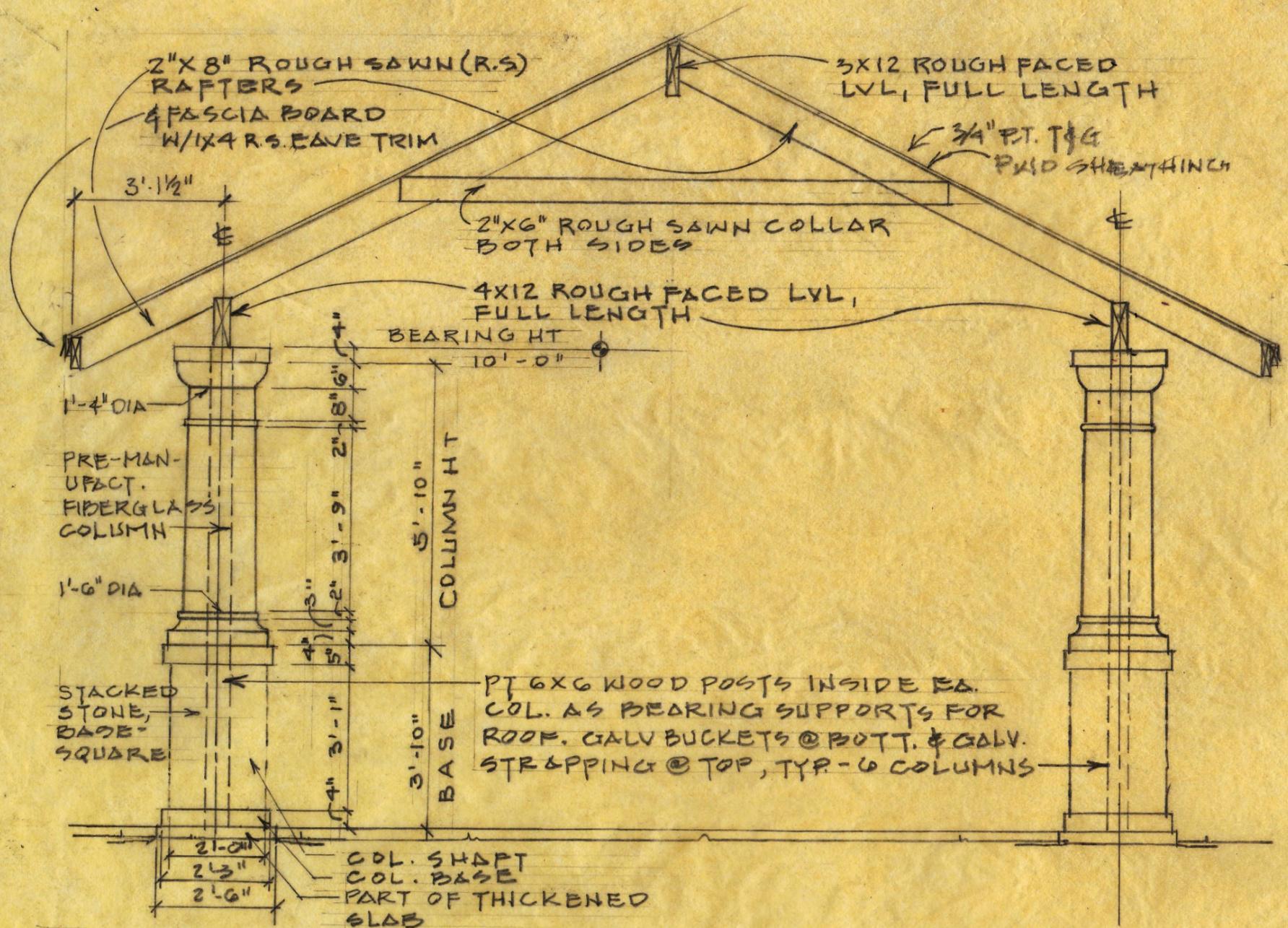


1 SOUTH ELEV. - BARN  
A6.4 1/8" = 1'-0"

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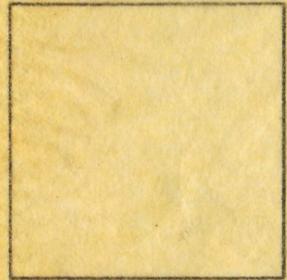
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407 921 8790 MILZARCH@GMAIL.COM  
LICENSE # 848000834

BARN ELEV. - N, S & W  
**A6.4**



① PAVILION BLDG SECTION  
 A7.1 3/8" = 1'-0"

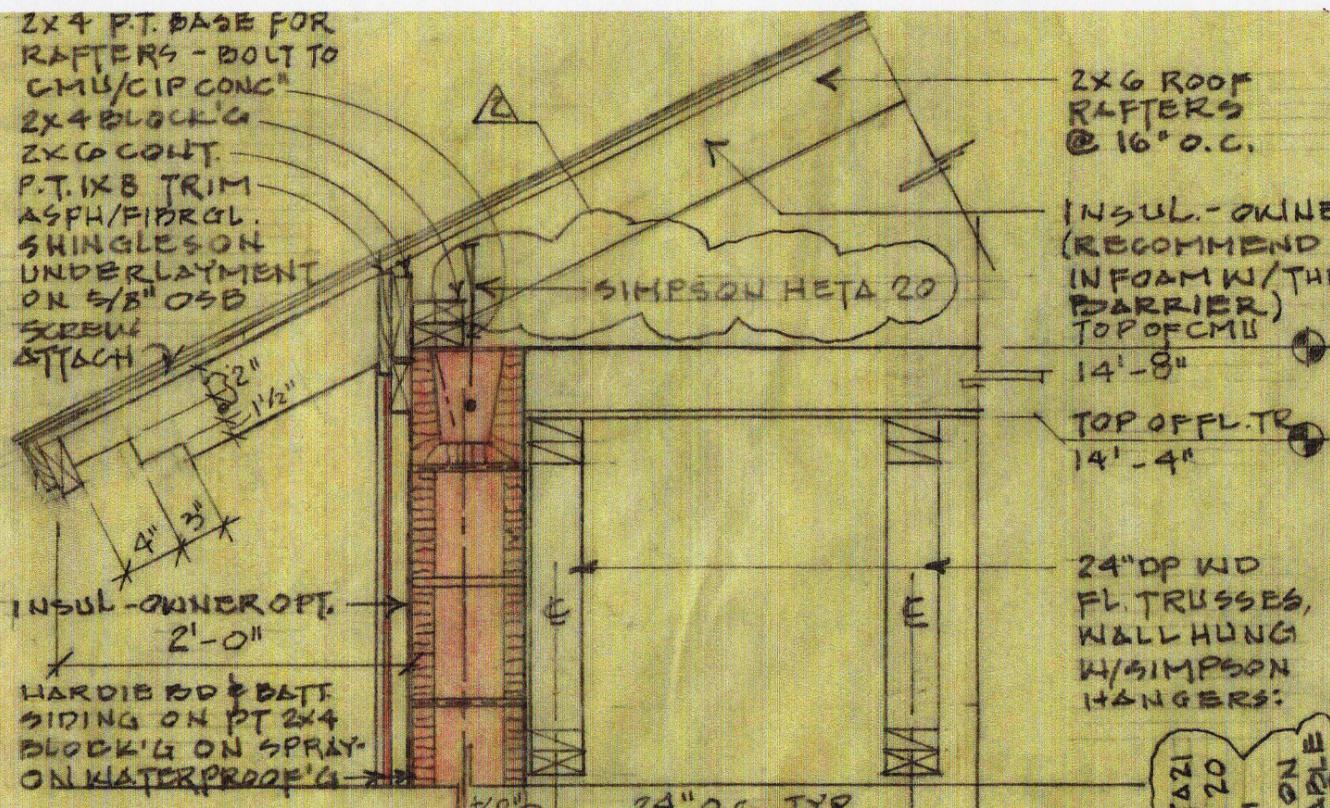
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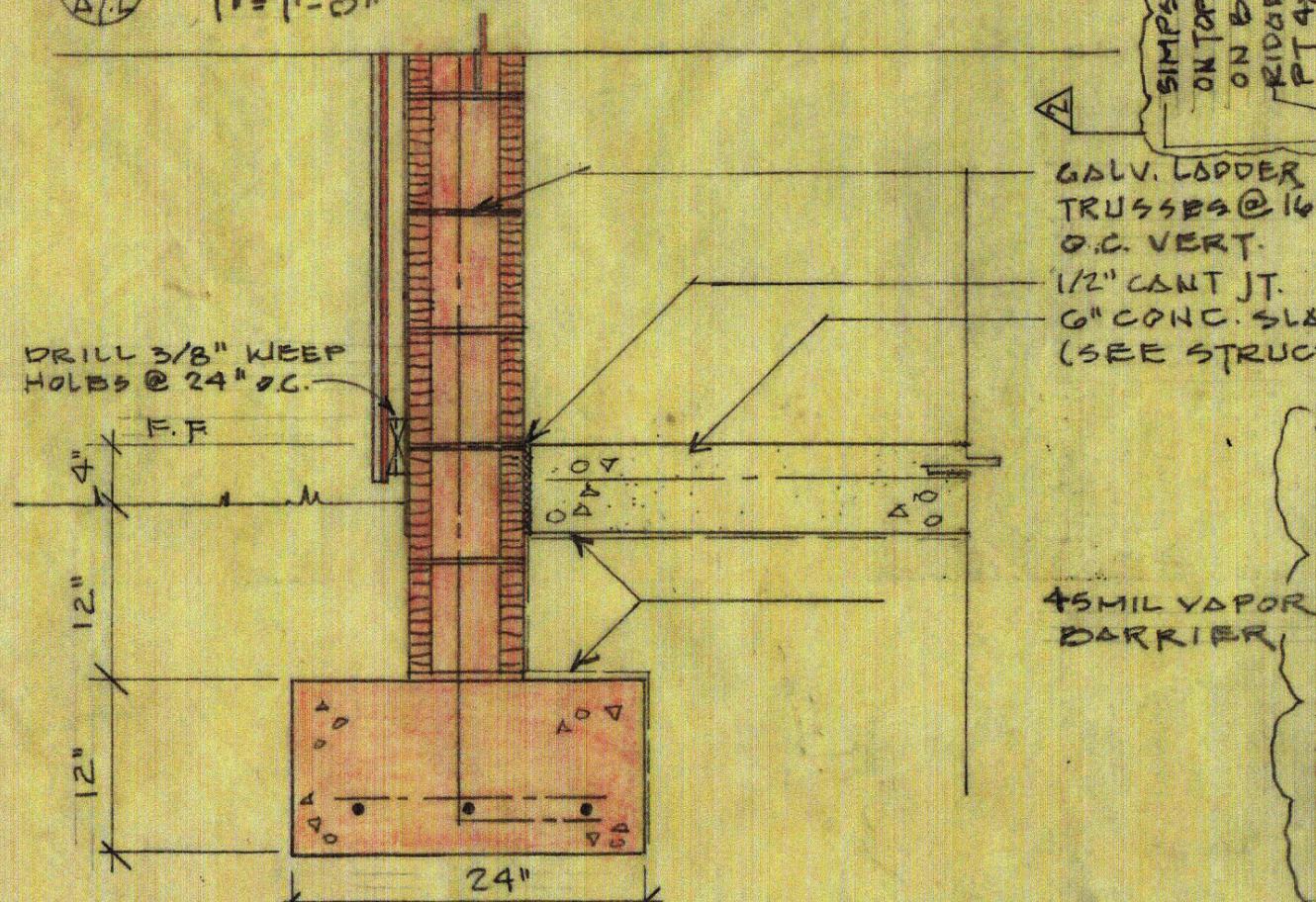
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 LICENSE # AR0008514

PAVILION - WALL SECTION

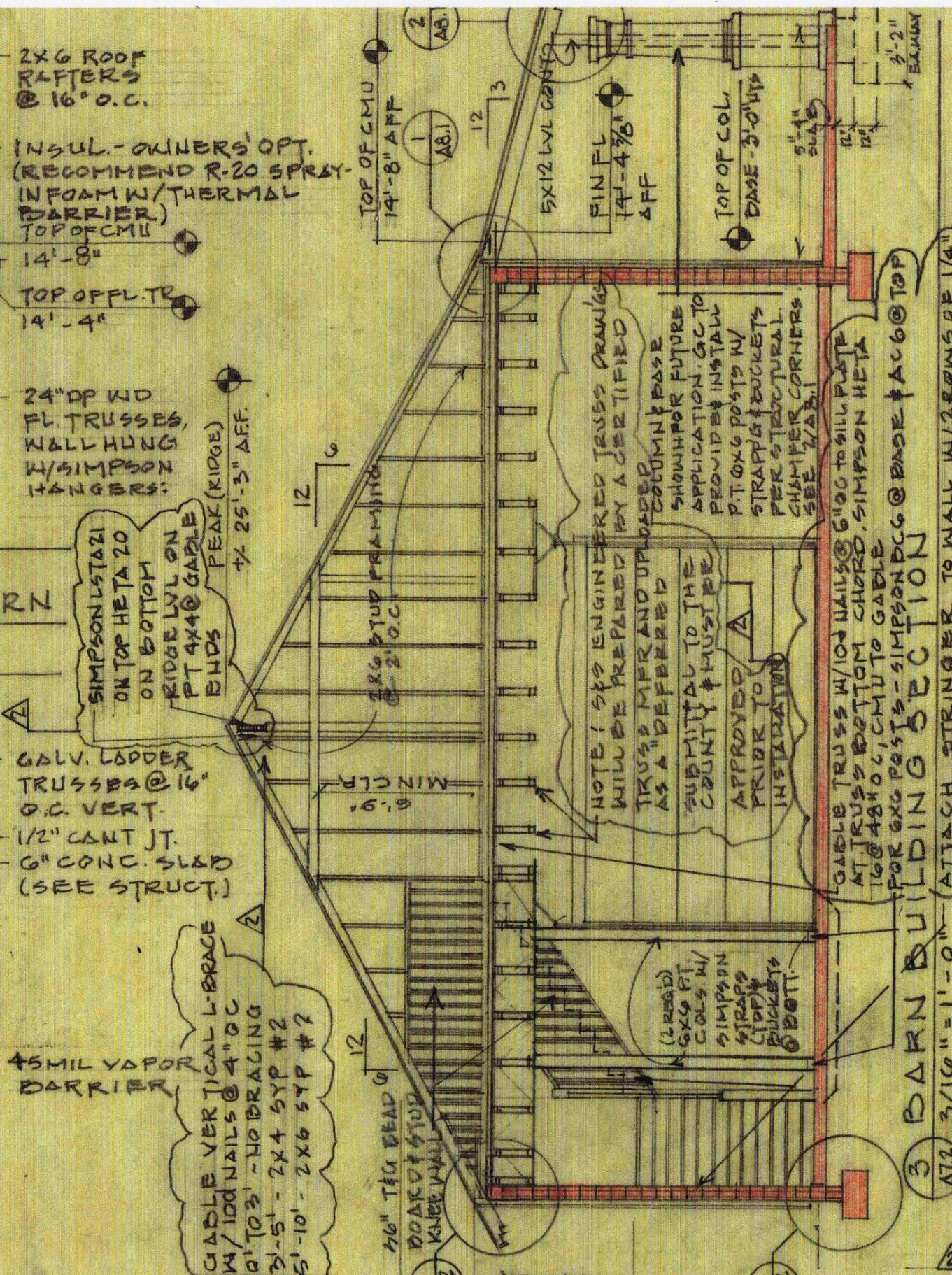
A7.1



SECTION @ SOUTH EAVE - BARN  
1" = 1'-0"



BARN - SECTION @ FOUND. - E, S & W  
1" = 1'-0"



BARN BUILDING SECTION  
3/10" = 1'-0"

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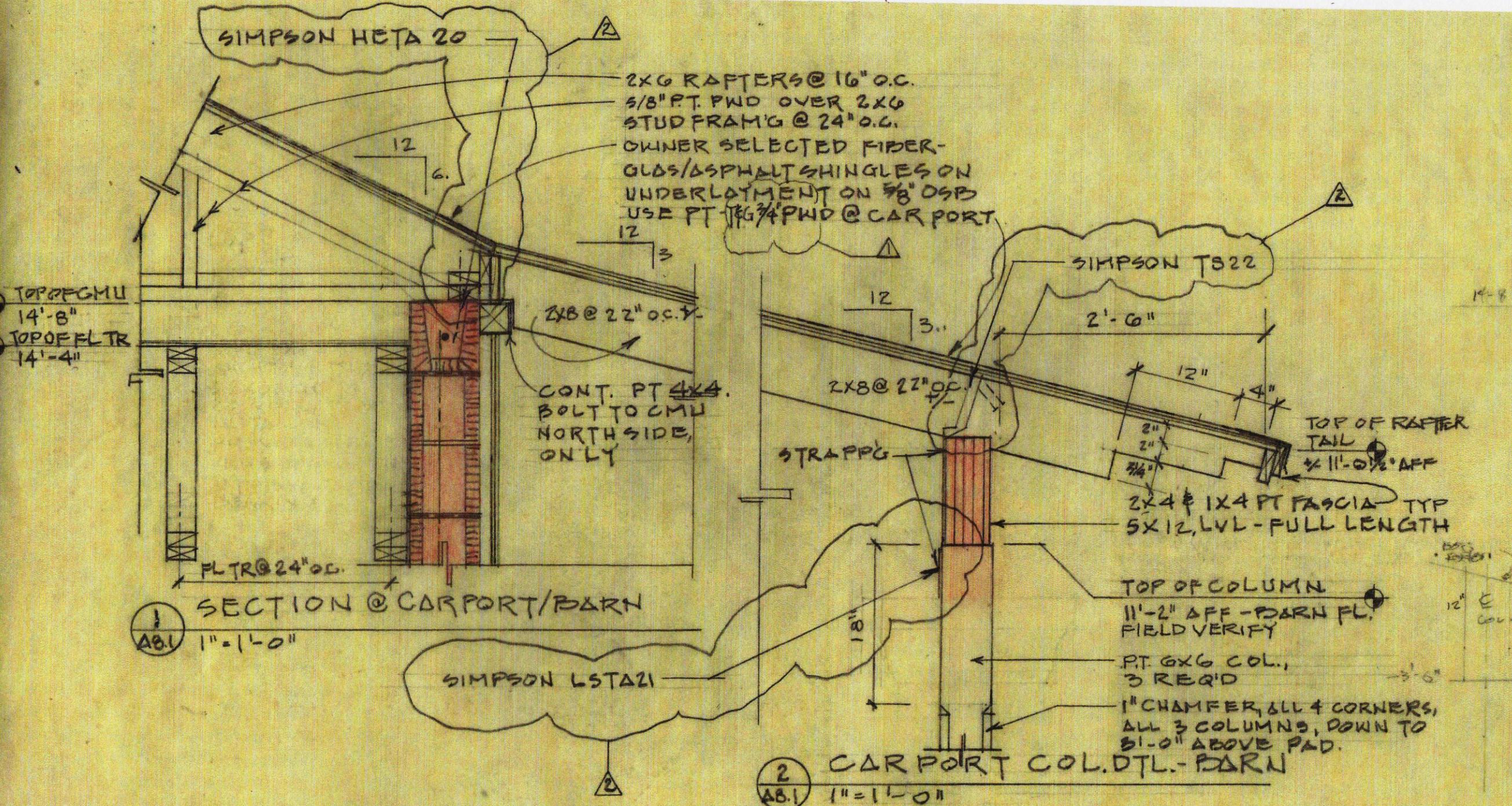
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407.821.8786 FAX 407.821.8784 WWW.MILZARCH.COM  
LICENSE # 4809344

GARAGE - WALL SECTIONS

A7.2

REV. 9.26.22



SIMPSON HETA 20

2X6 RAFTERS @ 16" O.C.  
 5/8" PT. PWD OVER 2X6  
 STUD FRAM'G @ 24" O.C.  
 OWNER SELECTED FIBER-  
 GLAS/ASPHALT SHINGLES ON  
 UNDERLAYMENT ON 5/8" OSB  
 USE PT 1/2" X 3/4" PWD @ CAR PORT

TOP OF CMU  
 14'-8"  
 TOP OF FLTR  
 14'-4"

SIMPSON TS22

2XB @ 22" O.C. V.  
 CONT. PT 4X4.  
 BOLT TO CMU  
 NORTH SIDE,  
 ONLY

STRAPPING

TOP OF RAFTER  
 TAIL  
 1/2" 11'-0" 1/2" AFF

2X4 & 1X4 PT FASCIA TYP  
 5X12, LVL - FULL LENGTH

FLTR @ 24" O.C.

SECTION @ CARPORT/BARN

1  
 A8.1

1" = 1'-0"

TOP OF COLUMN  
 11'-2" AFF - BARN FL.  
 FIELD VERIFY

PT. 6X6 COL.,  
 3 REQ'D

1" CHAMFER, ALL 4 CORNERS,  
 ALL 3 COLUMNS, DOWN TO  
 51'-0" ABOVE PAD.

SIMPSON LSTAZI

CARPORT COL. DTL. - BARN

2  
 A8.1

1" = 1'-0"

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 NEW  
 KITCHEN PAVILION AND GARAGE  
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PAGE  
 5 of 5

MILZARCH, LLC  
 JERRY WALKER MELS, DR.  
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 LICENSE # AR0008314

BARN - ROOF/WALL DTLS

A8.1

1

REV. 6.27.22

2

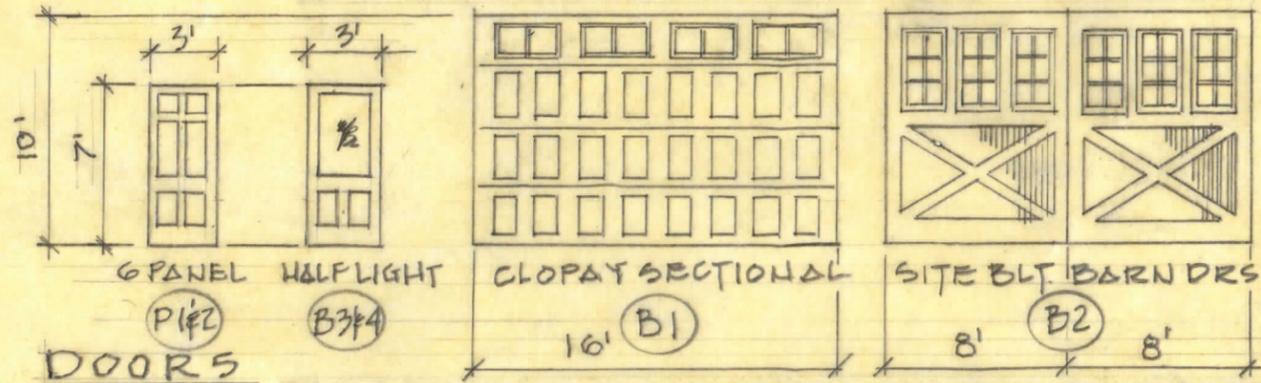
REV. 9.26.22

### DOOR SCHEDULE ○

ROOM NAME	SYMBOL	FRAME					DETAILS			REMARKS		
		TYPE	MAT'L	WIDTH	HEIGHT	THICK-NESS	MAT'L	TYPE	HEAD		JAMB	THRUSH
Bathroom - Pavilion	P1	A	FGL	3'-0"	7'-0"	1 1/4"	WD	PRE-HUNG				WITH TRANSOM AS SHOWN IN WINDOW TYPES
Storage - Pavilion	P2	A	FGL	3'-0"	7'-0"	1 1/4"	WD	PRE-HUNG				WITH TRANSOM AS SHOWN IN WINDOW TYPES
SECTIONAL GARAGE DOOR - BARN	B1	C	STL	16'	10'		STL	CHANNEL				CLOPAY - SEE SPEC SECTIONAL GARAGE DOOR W/ GLASS INSERTS AT TOP SECTION & ELECTRIC DOOR OPENER WITH REMOTE. ENGINEERED FOR 140 MPH WINDS. MANUE. TO SUPPLY DETAILS SITE BUILT - ROLLING HARDWARE AND LATCHES - BY OWNER (Tractor Supply)
ROLLING BARN DOOR - BARN	B2	D	WD	PR-5'	10'	1 1/2"	WD	WOOD				
FIRST FLOOR - BARN	B3	B	FGL	3'-4"	6'-8"	1 1/4"	WD	PRE-HUNG				
FIRST FLOOR - BARN	B4	B	FGL	1'-8"	6'-8"	1 1/4"	WD	PRE-HUNG				

ADDITIONAL NOTES

- DOORS DESIGN BASIS THERMA-TRU
- HARDWARE TO BE SELECTED BY OWNER
- ALL GLASS IN DOORS & TRANSOMS TO BE TEMPERED

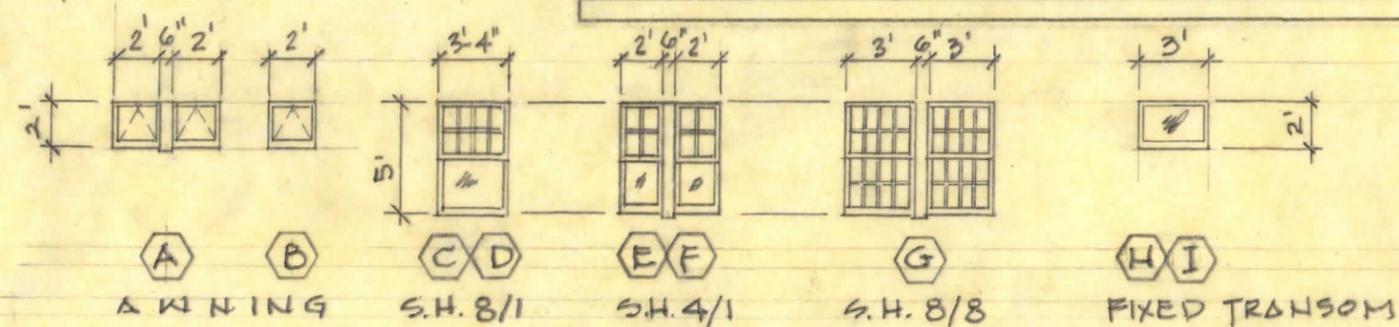


### WINDOW SCHEDULE ○

SYMBOL	WINDOW R.O.		TYPE	TRANSOM	STYLE	GLASS/NOTES
	WIDTH	HEIGHT				
A	4'-8"	2'-2"	VINYL	N	HORIZ SL	CLEAR INSULATED GLASS/PAIR/ MARBLE STOOL
B	2'-2"	2'-2"	VINYL	N	HORIZ SL	CLEAR INSULATED GLASS
C	3'-4"	3'-4"	VINYL	N	SH	CLEAR INSULATED GLASS
D	3'-4"	5'-4"	VINYL	N	SH	CLEAR INSULATED GLASS
E	4'-4"	5'-4"	VINYL	N	SH	CLEAR INSULATED GLASS
F	4'-4"	5'-4"	VINYL	N	SH	CLEAR INSULATED GLASS
G	6'-8"	5'-4"	VINYL	N	SH	CLEAR INSULATED GLASS/ PAIR
H	3'-0"	2'-0"	VINYL	Y	FIXED	CLEAR INSULATED GLASS/ TEMPERED
I	3'-0"	2'-0"	VINYL	Y	FIXED	CLEAR INSULATED GLASS/ TEMPERED

ADDITIONAL NOTES

- VERIFY ALL OPENING SIZES PRIOR TO ORDERING WINDOWS
- WINDOW MFR. DESIGN BASIS: PLY GEM WINDOWS, SERIES 1500 SINGLE HUNG (UNO) John Clementson 407.947.9878
- WINDOW CONTRACTOR TO PROVIDE SHOP DRAWINGS AND INSTALLATION INSTRUCTIONS



### WINDOWS

ROGER AND JUSTINE CASCANTE  
NEW  
KITCHEN PAVILION AND GARAGE  
2290 Beverly Street, Oviedo, FL 32762

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DOOR & WINDOW SCHED

# A9.1

# GENERAL STRUCTURAL NOTES

## CAST IN PLACE REINFORCED CONCRETE

- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 2500 PSI (SLABS) 3000 PSI (COLUMNS AND BEAMS), A SLUMP OF 5" PLUS OR MINUS 1", AND HAVE 2 TO 5% AIR ENTRAINMENT, AND A MAXIMUM WATER/CEMENT RATIO OF 0.63
- HOOKS SHALL BE PROVIDED AT DISCONTINUOUS ENDS OF ALL TOP BARS OF BEAMS.
- HORIZONTAL FOOTING BARS SHALL BE BENT 1'-0" AROUND CORNERS OR CORNER BARS WITH A 2'-0" LAP PROVIDED.
- CONCRETE COVER MIN. 3" WHEN EXPOSED TO EARTH OR 1 1/2" TO FORM U.N.O.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185/ A185M-07. WWF SHALL BE LAPPED AT LEAST 6" AND CONTAIN AT LEAST ONE CROSS WIRE WITHIN THE 6". POLYPROPYLENE FIBERS FOR SLABS ON GRADE TO BE MIN 1.5 LBS OF FIBER PER CUBIC YARD
- ALL REINFORCING STEEL / STIRRUPS AND TIES SHALL BE NEW DOMESTIC DEFORMED BARS FREE FROM RUST, SCALE & OIL & SHALL MEET ASTM A615/ A185M-04A GRADE 40 U.N.O. REINFORCING FOR FOOTING SHALL BE SUPPORTED ON PRE-CAST CONCRETE PADS. TOP REINFORCING SHALL BE POSITIVELY SUPPORTED BY TEMPORARY STRINGERS. DOWELS FOR COLUMNS & FILLED CELLS SHALL BE SECURED IN PLACE BY USING ADDITIONAL CROSSES. REINFORCING TIED TO FOOTING REINFORCING. SPLICES IN REINFORCING WHERE PERMITTED SHALL BE AS PER DETAIL M505.
- SIMPSON HIGH STRENGTH EPOXY-TIE ANCHORING ADHESIVE WAS USED IN THE DESIGN OF THIS PRODUCT. IF CONTRACTORS WISH TO USE A DIFFERENT EPOXY, THEY MUST FIRST CONTACT THE ENGINEER OF RECORD FOR WRITTEN APPROVAL.
- WHERE PROJECT IS TO BE LOCATED IN KNOWN RADON GAS PREVALENT AREAS, APPENDIX "F" OF THE 2014 FLORIDA RESIDENTIAL BUILDING CODE IS TO BE IMPLEMENTED. F303.4 CONCRETE REINTEGRAL IN THESE AREAS ARE TO BE A MINIMUM OF 3000 P.S.I. THEREFORE, ANY AND ALL NOTES ON THESE PLANS THAT INDICATE 2500 P.S.I. SHALL BE REPLACED WITH 3000 P.S.I. FOR THE CONCRETE STRENGTH.

## MASONRY

- HOLLOW LOAD BEARING UNITS SHALL BE NORMAL WEIGHT, CONFORMING TO ASTM C90-14, WITH A MINIMUM NET COMPRESSIVE STRENGTH OF 2000 PSI (f<sub>m</sub> = 2000 PSI)
- MORTAR SHALL BE TYPE "S", CONFORMING TO ASTM C270-12A.
- COARSE GROUT SHALL CONFORM TO ASTM C476 WITH A MAXIMUM AGGREGATE SIZE OF 3/8" AND A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 3000 PSI SLUMP 8" TO 11". CONTINUOUS MASONRY INSPECTIONS ARE REQUIRED DURING CONSTRUCTION
- VERTICAL REINFORCEMENT SHALL BE AS NOTED ON THE DRAWINGS WITH THE CELLS FILLED WITH COARSE GROUT.
- VERTICAL REINFORCEMENT SHALL BE HELD IN POSITION AT THE TOP AND BOTTOM AND AT A MAXIMUM SPACING OF 192 DIA OR 10FT WHICH EVER IS LESS. REINFORCING SHALL BE PLACED IN THE CENTER OF THE MASONRY CELL WITH MIN 1/2" CLEARANCE TO INSIDE FACE.
- REINFORCING STEEL SHALL BE LAPPED PER ACI, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- GROUT STOPS SHALL BE PROVIDED BELOW BOND BEAM. PLASTIC SCREEN, METAL LATH STRIP OR CAVITY CAPS MAY BE USED TO PREVENT THE FLOW OF GROUT INTO CELLS BELOW. THE USE OF FELT PAPER AS A STOP IS PROHIBITED.
- TEMPORARY BRACING AND SHORING OF WALL TO PROVIDE STABILITY DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR
- TYPICAL FILLED CELL REINFORCING SIZE AND SPACING SHALL BE ABOVE AND BELOW ALL WALL OPENINGS
- DO NOT APPLY UNIFORM LOADS TO MASONRY WALLS FOR (3) DAYS AND NO CONCENTRATED LOADS FOR (7) DAYS. PER CODE ACI 318
- DURING CONCRETE POURS, THE CONTRACTOR TO ADEQUATELY VIBRATE THE FILLED CELL WITH EITHER RODDING OR PENCIL VIBRATOR TO ENSURE PROPER CONCRETE CONSOLIDATION

## WOOD CONSTRUCTION

- ALL EXTERIOR WOOD STUD WALLS, BEARING WALLS, SHEAR WALLS AND MISC. STRUCTURAL WOOD FRAMING MEMBERS, (I.E. BLOCKING OR GABLE END BRACING) SHALL BE EITHER #1 SOUTHERN PINE, OR S.P.F. NUMBER 2 GRADE OR BETTER SHALL BE USED REGARDLESS OF SPECIES.
- ALL LUMBER SPECIFIED ON DRAWINGS ARE INTENDED FOR DRY USE ONLY (MOISTURE CONTENT 19% OR LESS), U.N.O. ALL WATERPROOFING AND FIRE SAFETY SYSTEMS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND ARE TO BE DESIGNED AND DETAILED BY OTHERS
- ANY WOOD FRAME INTERIOR BEARING WALL STUDS THAT HAVE HOLES IN THE CENTER OF THE STUD UP TO 1" DIA. SHALL HAVE STUD PROTECTION SHIELDS. ALL HOLES OVER 1" IN DIA. FOR PLUMBING LINES, ETC. SHALL BE REPAIRED WITH SIMPSON H552 STUD SHOES, TYP., U.N.O.
- MANY OF THE NEW PRESSURE TREATED WOODS USE CHEMICALS THAT ARE CORROSIVE TO STEEL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE TYPE OF WOOD TREATMENT AND TO SELECT APPROPRIATE CONNECTORS THAT RESIST CORROSION. FOR EXAMPLE, ACQ-C, ACQ-D, CBA-A OR CA-B REQUIRE HOT-DIPPED GALVANIZED OR STAINLESS STEEL FASTENERS. DOT SODIUM BORATE (SBX) DOES NOT.
- ALL EXPOSED WOOD OR WOOD IN CONTACT WITH EARTH OR CONCRETE TO BE PRESSURE TREATED.
- UNTREATED WOOD SHALL NOT BE IN DIRECT CONTACT WITH CONCRETE OR MASONRY. SEAT PLATES SHALL BE PROVIDED AT BEARING LOCATIONS WITHOUT WOODEN TOP PLATES.
- SEE PLAN FOR STUD PACK AND BEAM NAILING PATTERNS
- ALL ENGINEERING LUMBER TO HAVE THE FOLLOWING MIN VALUES U.N.O. COLUMNS: 2.0E F<sub>b</sub> = 2950 BEAMS: 2.0E F<sub>b</sub> = 2950
- SEE PLAN NOTE FOR ADDITIONAL ROOF, WALL, SHEAR WALL AND FLOOR SHEATHING REQUIREMENTS ALONG W/ NAILING INFORMATION OTHERWISE: ROOF DECK: PLYWOOD C-C/C-D, EXTERIOR OR OSB FLOOR SHEATHING: T&G A-C GROUP 1 APA RATED (48/24) WALL SHEATHING: PLYWOOD C-C/C-D EXTERIOR OR OSB

## STRUCTURAL STEEL

- MATERIAL SPECIFICATIONS:  
WIDE FLANGE SECTIONS: ASTM A992, GRADE 50, F<sub>y</sub>=50 KSI  
TUBE STEEL (H55): ASTM A500, GRADE B, F<sub>y</sub> = 46 KSI  
PIPE STEEL: ASTM A53, TYPE E OR S, F<sub>y</sub> = 35 KSI  
ALL OTHER STRUCTURAL & MISC. STEEL: A36 F<sub>y</sub>=36 KSI  
STRUCTURAL CONNECTIONS:  
ALL STRUCTURAL BOLTS TO BE A325N U.N.O  
STRUCTURAL BOLTS SMALLER THAN 5/8" DIA. TO BE A307  
THREADED ROD SHALL CONFORM TO A36 OR A307  
ANCHOR BOLTS SHALL CONFORM TO ASTM F1554  
ALL BOLTS CAST IN CONCRETE: ASTM A36 OR ASTM A-307  
SHOP AND FIELD WELDS: E70XX ELECTRODES  
STEEL REINFORCEMENT SHOP DRAWINGS TO BE PROVIDED TO ENGINEER OF RECORD BEFORE FABRICATION FOR REVIEW AND APPROVAL

## PRE ENGINEERED WOOD TRUSSES

- ALL PREFABRICATED WOOD TRUSSES SHALL BE SECURELY FASTENED TO THEIR SUPPORTING WALLS OR BEAMS WITH HURRICANE CLIPS OR ANCHORS PER STRUCTURAL PLAN
- PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE LATEST EDITION OF THE "NATIONAL DESIGN SPECIFICATION FOR STRESS-GRADE LUMBER AND ITS FASTENERS" AS RECOMMENDED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
- TRUSS MEMBERS AND CONNECTIONS SHALL BE PROPORTIONED (WITH A MAXIMUM ALLOWABLE STRESS INCREASE FOR LOAD DURATION OF 25%) TO WITHSTAND THE LIVE LOADS GIVEN IN THE NOTES AND TOTAL DEAD LOAD.
- BRIDGING FOR PRE-ENGINEERED TRUSSES SHALL BE AS REQUIRED BY THE TRUSS MANUFACTURER UNLESS NOTED ON THE PLANS.
- TRUSS ELEVATIONS AND SECTIONS ARE FOR GENERAL CONFIGURATION OF TRUSSES ONLY. WEB MEMBERS ARE NOT SHOWN, BUT SHALL BE DESIGNED BY THE TRUSS MANUFACTURER IN ACCORDANCE WITH THE FRAMING DESIGN LOADS:
- DESIGN SPECIFICATIONS FOR LIGHT WEIGHT METAL PLATE CONNECTED WOOD TRUSSES PER THE TRUSS PLATE INSTITUTE TPI LATEST EDITION.
- PRE-ENGINEERED WOOD TRUSSES SHALL BE DESIGNED BY THE MANUFACTURER IN ACCORDANCE WITH SPECIFIED LOADS AND GOVERNING CODES. SUBMITTALS SHALL INCLUDE TRUSS FRAMING PLANS AND DETAILS SHOWING MEMBER SIZES, BRACING, ANCHORAGE, CONNECTIONS, TRUSS LOCATIONS, AND PERMANENT BRACING AND/OR BRIDGING AS REQUIRED FOR ERECTION AND FOR THE PERMANENT STRUCTURE. EACH SUBMITTAL SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED STRUCTURAL ENGINEER. SUBMIT 3 COPIES FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- THE TRUSS MANUFACTURER SHALL DETERMINE ALL SPANS WORKING POINTS, BEARING POINTS, AND SIMILAR CONDITIONS. TRUSS SHOP DRAWINGS SHALL SHOW ALL TRUSSES, ALL BRACING MEMBERS, AND ALL TRUSS TO TRUSS HANGERS.

## UPLIFT CONNECTORS

- UPLIFT CONNECTORS SUCH AS HURRICANE CLIPS, TRUSS ANCHORS AND ANCHOR BOLTS ARE ONLY REQUIRED ON MEMBERS IN WALLS THAT ARE EXPOSED TO UPLIFT OR LATERAL FORCES. INTERIOR LOAD BEARING WALLS ARE NOT ALWAYS EXPOSED TO UPLIFT FORCES. THE MEMBERS OF THESE WALLS WOULD NOT NEED TO HAVE CONNECTORS APPLIED. PLEASE COORDINATE THE TRUSS ENGINEER FOR THE LOCATION OF THESE WALLS AND STRUCTURAL PLANS FOR MORE INFO.

## FIELD REPAIR NOTES

- MISSED "J" BOLTS FOR WOOD BEARING WALLS MAY BE SUBSTITUTED WITH 1/2" DIA. EPOXY ANCHORS WITH 7" EMBEDMENT. SIMPSON "SET" EPOXY ADHESIVE BINDER FOLLOWING ALL MANUFACTURER'S RECOMMENDATIONS OR SIMPSON 1/2" TITEN HD BOLTS WITH MINIMUM 7" EMBEDMENT. SEE PLAN FOR EMBEDMENT DEPTH AT FLOOR STEPS.
- FOR MISSED VERT. DOWELS, DRILL A 3/4" DIAMETER HOLE 6" DEEP AT THE LOCATION OF THE OMITTED REBAR AND INSTALL A 32" LONG #5 BAR INTO THE EPOXY FILLED HOLE. USE A TWO PART EMBEDMENT EPOXY (SIMPSON HIGH STRENGTH EPOXY-TIE ANCHORING ADHESIVE) MIXED PER THE MANUFACTURER'S INSTRUCTIONS. ASSURE THAT ALL DUST AND DEBRIS FROM DRILLING ARE REMOVED FROM THE HOLE BY BRUSHING AND USING COMPRESSED AIR PRIOR TO APPLYING THE EPOXY. ALLOW THE EPOXY TO CURE TO THE MANUFACTURER'S SPECIFICATIONS, THEN FILL THE CELL IN THE NORMAL WAY DURING BOND BEAM POUR.
- FOR MORTAR JOINTS LESS THAN 1/4", PROVIDE (1) #5 VERT. IN CONC. FILLED CELL EACH SIDE OF THE JOINT (BAR DOES NOT HAVE TO BE CONT. TO FOOTING).
- MISSED LINTEL STRAPS FOR MASONRY CONSTRUCTION MAY BE SUBSTITUTED WITH (1) SIMPSON M5M16 TWIST STRAP W/ (4) 1/4" x 2 1/4" TITENS TO MASONRY AND (7)-10d NAILS TO TRUSS FOR UPLIFTS LESS THAN 860 LBS (USE (2) M5M16 FOR UPLIFTS LESS THAN 1720#). IF CORNER STRAP IS MISSED CONTRACTOR TO INSTALL (2) SIMPSON HGAM10 W/ (4) 1/4" x 1 1/2" SDS SCREWS AND (5) 1/4" x 2 1/4" TITENS ONE EACH SIDE OF TRUSS.  
NO MORE THAN 10 STRAPS MAY BE SUBSTITUTED OR NO MORE THAN 3 IN A ROW WITHOUT APPROVAL FROM EOR. IF GIRDER TRUSS CONNECTIONS ARE MISSED, CONTACT THE EOR FOR SUBSTITUTION.
- IF MISSED, M5M36 OR M5M40 STRAP IS MISSED FOR 2ND FLOOR JAMB STUD CONNECTION, CONTRACTOR MAY INSTALL SIMPSON HTT5 W/ (26) 16d x 2 1/2" NAILS AND 5/8" ANCHOR BOLT SET IN SIMPSON HIGH STRENGTH EPOXY W/ MIN 6" EMBEDMENT AND MIN 3" EDGE DISTANCE. CONTACT EOR IF STRAPS ARE MISSED UNDER GIRDER JAMB STUD LOCATIONS.

# STRUCTURAL DESIGN CRITERIA

## CODE CRITERIA

- FLORIDA RESIDENTIAL BUILDING CODE 7th EDITION (2020)
- FLORIDA FIRE PREVENTION CODE (2020)
- FLORIDA ACCESSIBILITY CODE 7th EDITION (2020)
- NFPA 70-14. NATIONAL ELECTRICAL CODES
- BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE - (ACI 318-14)
- SPECIFICATIONS FOR STRUCTURAL CONCRETE BUILDINGS - (ACI 301-14)
- BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES - (TMC 402-2016)
- NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION - NDS-2018
- WOOD FRAMED CONSTRUCTION MANUAL 2015 EDITION.
- APA PLYWOOD DESIGN SPECIFICATION
- AMERICAN SOCIETY OF CIVIL ENGINEERS: ASCE/SEI 7-16
- ALUMINUM DESIGN MANUAL - 2010 EDITION
- SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS - (AISC 360 -10)

SEE SHEET A0.0  
FOR UPDATED  
CODE REFERENCES



## GENERAL ROOF LOADING

	SHINGLE ROOF (PSF)	METAL ROOF (PSF)	TILE ROOF (PSF)	HEAVY ROOF (PSF)
TOP CHORD LL	20	20	20	20
TOP CHORD DL	10	10	15	25
BOTTOM CHORD LL*	0	0	0	0
BOTTOM CHORD DL	10	10	10	10
TOTAL (PSF)	40	40	45	55
BOTTOM CHORD LL (OPT)				
ATTICS W/ LIMITED STORAGE	20			
ATTICS W/ HEAVY STORAGE	50			
* ATTICS W/ NO STORAGE (NON-CONCURRENT)	10			

NOTE: LL REDUCTIONS ARE ALLOWED PER CODE BUT ONLY WITH WRITTEN APPROVAL FROM EOR OR INDICATED ON PLAN

## DEFLECTION CRITERIA

	LL/240	TL/180	COMMENTS:
ROOF TRUSSES*	LL/240	TL/180	
ROOF RAFTERS	LL/240	TL/180	
FLOOR TRUSSES/ BEAMS**	LL/360	TL/240	
FLOOR I-JOIST***	LL/480	TL/240	

\*TL MAX 1" UP TO 40FT SPAN  
\*\*TL MAX 3/4"  
\*\*\* TL MAX 1/2"

## WIND LOADING CRITERIA

WIND SPEED (ULTIMATE)	140 MPH
WIND SPEED (ALLOWABLE)	108 MPH
EXPOSURE CATEGORY	C
BUILDING CATEGORY	II
BUILDING TYPE	V
ENCLOSURE CLASSIFICATION	ENCLOSED
INTERNAL PRESSURE COEFFICIENT	+/- 0.18

NOTE: MEAN ROOF HEIGHT FOR TYPICAL SINGLE STORY HOME IS 15FT, AND FOR 2 STORY HOME IS 30FT

## ASCE 7-16 WALL DESIGN ALLOWABLE COMPONENTS AND CLADDING WIND PRESSURES AND SUCTIONS

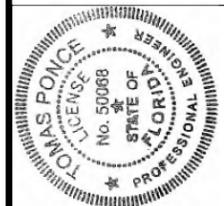
FOR MEAN ROOF HEIGHT ≤ 50 ft

EFFECTIVE WIND AREA (SQ FEET)	WIND PRESSURE AND SUCTION (PSF) (+)VALUE DENOTES PRESSURE (-)VALUE DENOTES SUCTION		WIND PRESSURE AND SUCTION DIAGRAM
AREA	(4)	(5)	<p>DIAGRAM</p>
10	(+) 29.6 (-) 32.1	(+) 29.6 (-) 39.6	
20	(+) 28.3 (-) 30.8	(+) 28.3 (-) 37.0	
50	(+) 26.5 (-) 29.0	(+) 26.5 (-) 33.4	
100	(+) 25.2 (-) 27.7	(+) 25.2 (-) 30.8	
GARAGE DOORS*			
9'-0" x 7'-0"	(+) 25.9 (-) 29.3	16'-0" x 7'-0" (+) 24.8 (-) 27.6	

## GENERAL PRESSURE NOTES

- NOTES:
- MULTIPLY THE ABOVE PRESSURES BY 1.6 TO GET ULTIMATE WIND PRESSURES

This item has been digitally signed and sealed by [Tomas Ponce PE, FL # 0050068], on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



\*THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE - RESIDENTIAL 6th EDITION (2017)

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Structural Notes/  
Wind Pressures

Sheet S1

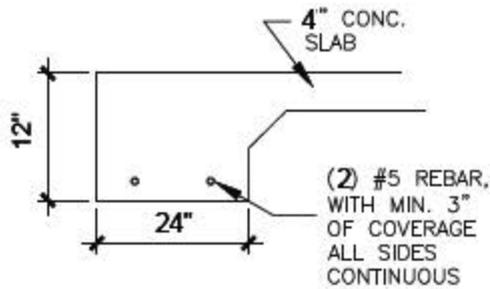
October 21, 2021

Revisions 9/26/22

ROGER AND JUSTINE CASANTE  
NEW KITCHEN PAVILLION AND GARAGE  
2290 EVERLY STREET, OVIEDO FL 32762

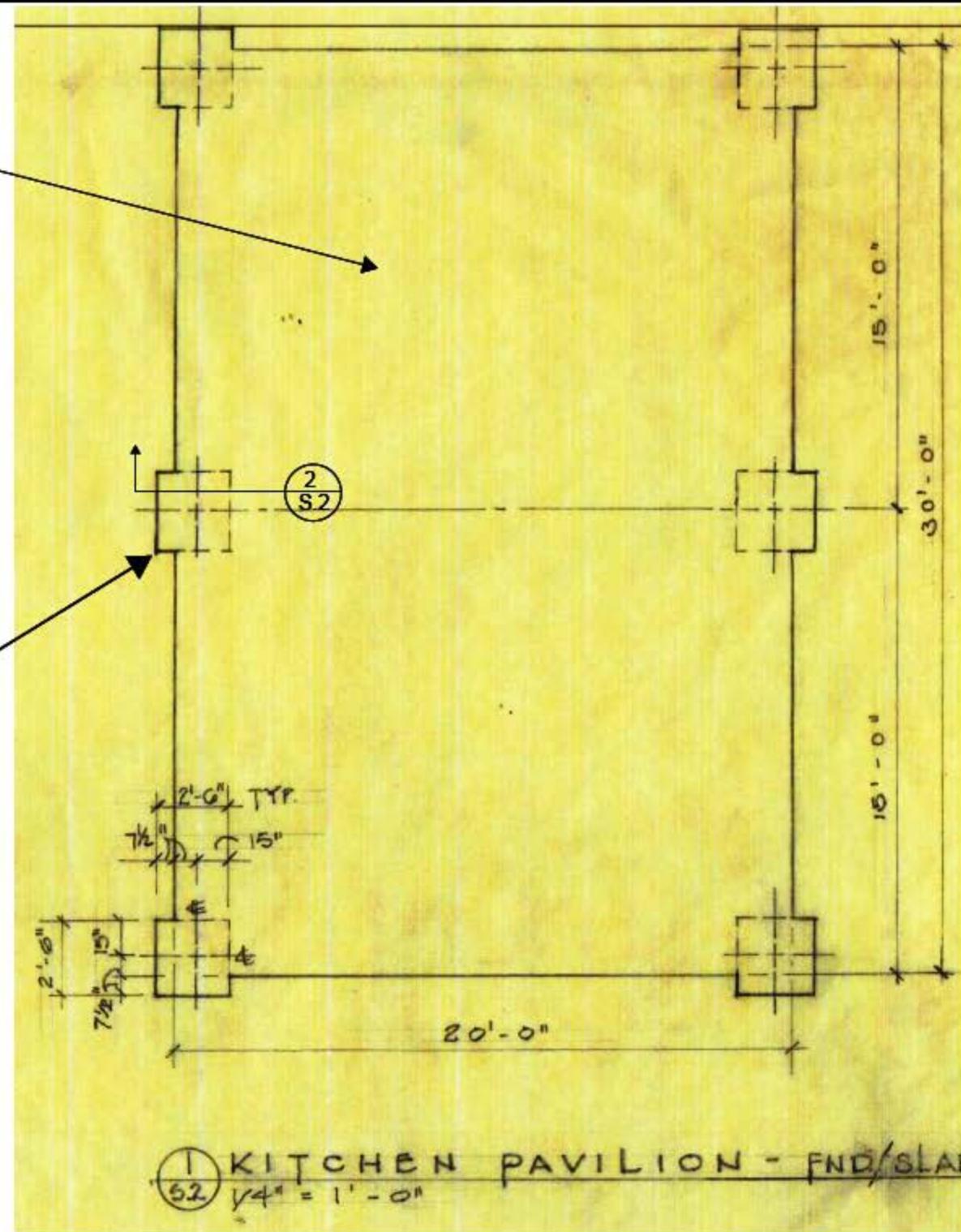
4" 2500 PSI CONC. SLAB W/ 6X6 10/10 W W M, OR FIBERMESH /FIBERMIX ADDED TO THE CONCRETE. IN ACCORDANCE W/ MANUP'S INSTRUCTIONS AND NER-284 FOR FIBERMESH OR NER-414 FOR FIBERMIX, OVER 45 mil VISQUEEN VAPOR BARRIER & TREATED FOR TERMITES.

FOUNDATION SCHEDULE				
MARK	SIZE	DEPTH	REINFORCING	GRAVITY CAP. [lbs]
F1.0	1'-0" x CONT.	1'-0"	2 #5 E.W. BOT.	3000
F2.0	2'-0" x 2'-0"	1'-0"	3 #5 E.W. BOT.	7200
F2.5	2'-6" x 2'-6"	1'-0"	3 #5 E.W. BOT.	11000
F3.0	3'-0" x 3'-0"	1'-0"	4 #5 E.W. BOT.	15600



2 S.2 CONTINUOUS FTR  
SCALE 1/2" = 1'-0"

Footing F2.0 (typ)



ROGER AND JUSTINE CASANTE  
NEW KITCHEN PAVILLION AND GARAGE  
2290 EVERLY STREET, OVIEDO FL 32762



THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE - RESIDENTIAL W/ SECTION (0017)

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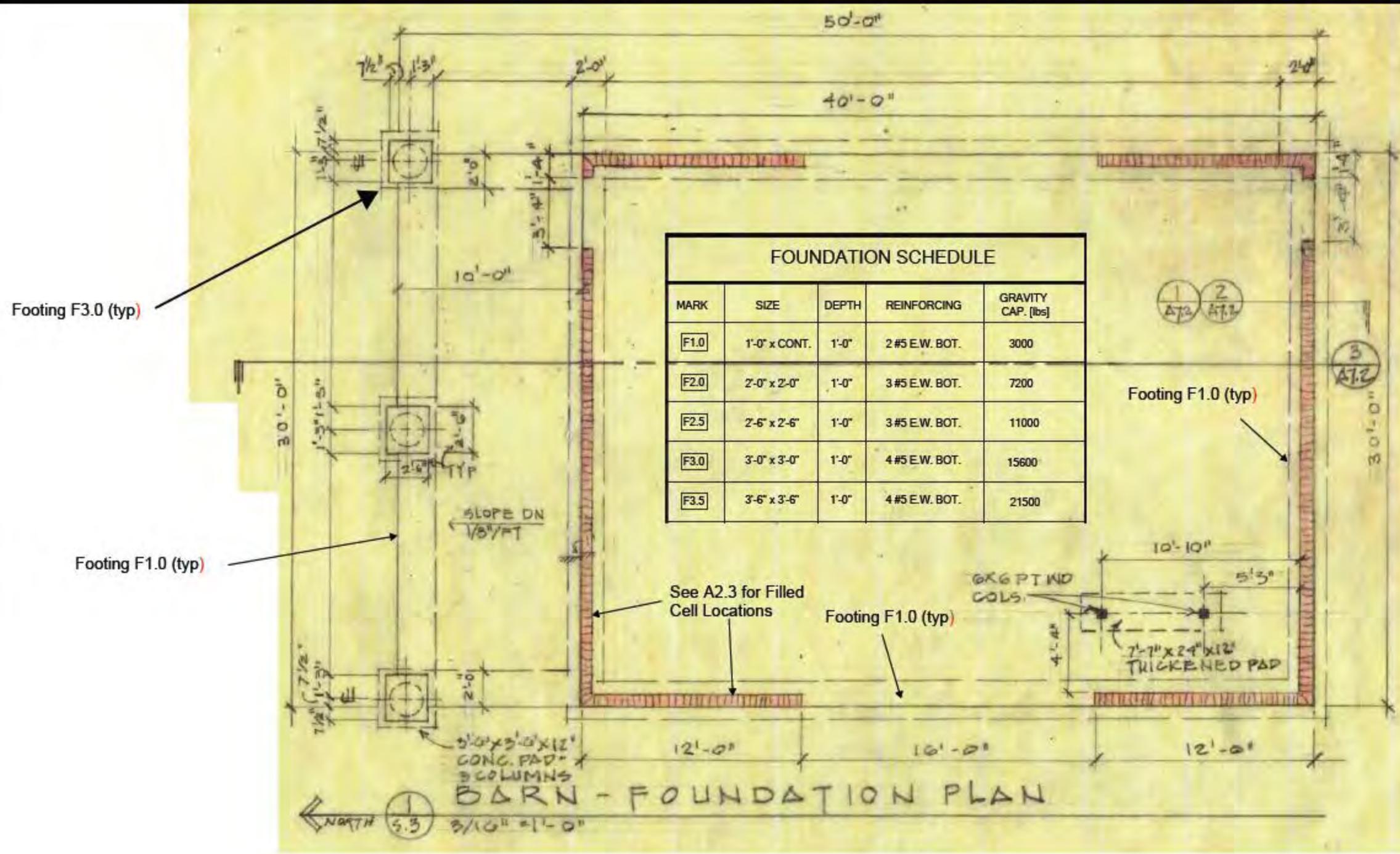
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Foundation Plan Pavillion

Sheet S2

November 5, 2021



FOUNDATION SCHEDULE				
MARK	SIZE	DEPTH	REINFORCING	GRAVITY CAP. [lbs]
F1.0	1'-0" x CONT.	1'-0"	2#5 E.W. BOT.	3000
F2.0	2'-0" x 2'-0"	1'-0"	3#5 E.W. BOT.	7200
F2.5	2'-6" x 2'-6"	1'-0"	3#5 E.W. BOT.	11000
F3.0	3'-0" x 3'-0"	1'-0"	4#5 E.W. BOT.	15600
F3.5	3'-6" x 3'-6"	1'-0"	4#5 E.W. BOT.	21500

Footing F3.0 (typ)

Footing F1.0 (typ)

Footing F1.0 (typ)

See A2.3 for Filled Cell Locations

Footing F1.0 (typ)

BARN - FOUNDATION PLAN

6" 2500 PSI CONC. SLAB W/ 6X6 10/10 W W M, OR FIBERMESH /FIBERMIX ADDED TO THE CONCRETE. IN ACCORDANCE W/ MANUF'S INSTRUCTIONS AND NER-284 FOR FIBERMESH OR NER-414 FOR FIBERMIX, OVER .45 mil VISQUEEN VAPOR BARRIER & TREATED FOR TERMITES.

ROGER AND JUSTINE CASANTE  
 NEW KITCHEN PAVILION AND GARAGE  
 2290 EVERLY STREET, OVIEDO FL 32762



THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE - RESIDENTIAL, 6th EDITION (2017)  
 TOMAS PONCE MSCE, PE  
 FL PE # 50068  
 367 MEDALLION PL.  
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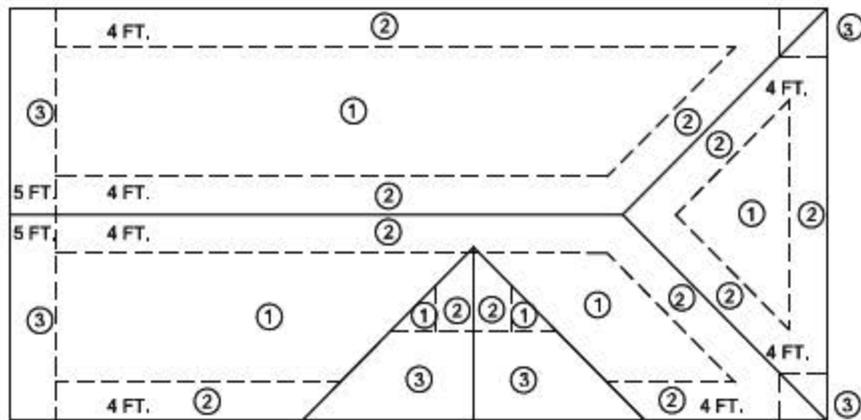
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Barn Foundation Plan

Sheet S3

November 5, 2021



ROOF NAILING ZONE DIAGRAM

GENERAL CONNECTOR NOTES

- CONNECT ALL ROOF / FLOOR TRUSSES TO MASONRY WALLS / UNITS BY ICF WALLS W/ (A) CONNECTOR UNO ON PLAN
- CONNECT ALL TRUSSES TO INTERIOR / EXTERIOR BEARING WOOD WALLS / BEAMS W/ (C) CONNECTOR UNO ON PLAN
- CONNECT ALL TYPICAL HP JACK (CORNER JACK) TO MASONRY WALLS / UNITS BY ICF WALLS W/ (A) CONNECTOR
- IF WOOD WALL OR BEAM USE (B) CONNECTORS UNO ON PLAN
- CONNECT ALL FLOOR TRUSSES TO INTERIOR BEARING WOOD WALLS / BEAMS W/ (3) 12" TOENAILS
- ALL TRUSS TO TRUSS CONNECTIONS ARE TO BE PROVIDED BY TRUSS MANUFACTURER UNO ON PLAN

ROOF NAILING SCHEDULE:

NAILING ZONES (SHINGLE AND TILE)

- ZONE 1: 8d RING SHANK NAILS @ 6" O.C. ON EDGE AND 12" O.C. IN FIELD
- ZONE 2: 8d RING SHANK NAILS @ 6" O.C. ON EDGE AND 12" O.C. IN FIELD
- ZONE 3: 8d RING SHANK NAILS @ 4" O.C. ON EDGE AND 12" O.C. IN FIELD

(NOTE: IF 5/8" PLYWOOD IS USED, CONTRACTOR MUST USE 16d RING SHANK NAILS)

NOTE:

ROOF SHEATHING: (APA RATED EXPOSURE 1) 1/2" PLYWOOD (TILE) OR 7/16" OSB MIN. (SHINGLES) SPAN RATED 24/16

SHEATHING MAY BE INSTALLED VERTICALLY OR HORIZONTALLY, ATTACH PER NAILING SCHEDULE. PANEL EDGES WILL NEED TO BE ATTACHED TO STUD AND OR BLOCKING AT ALL EDGES.

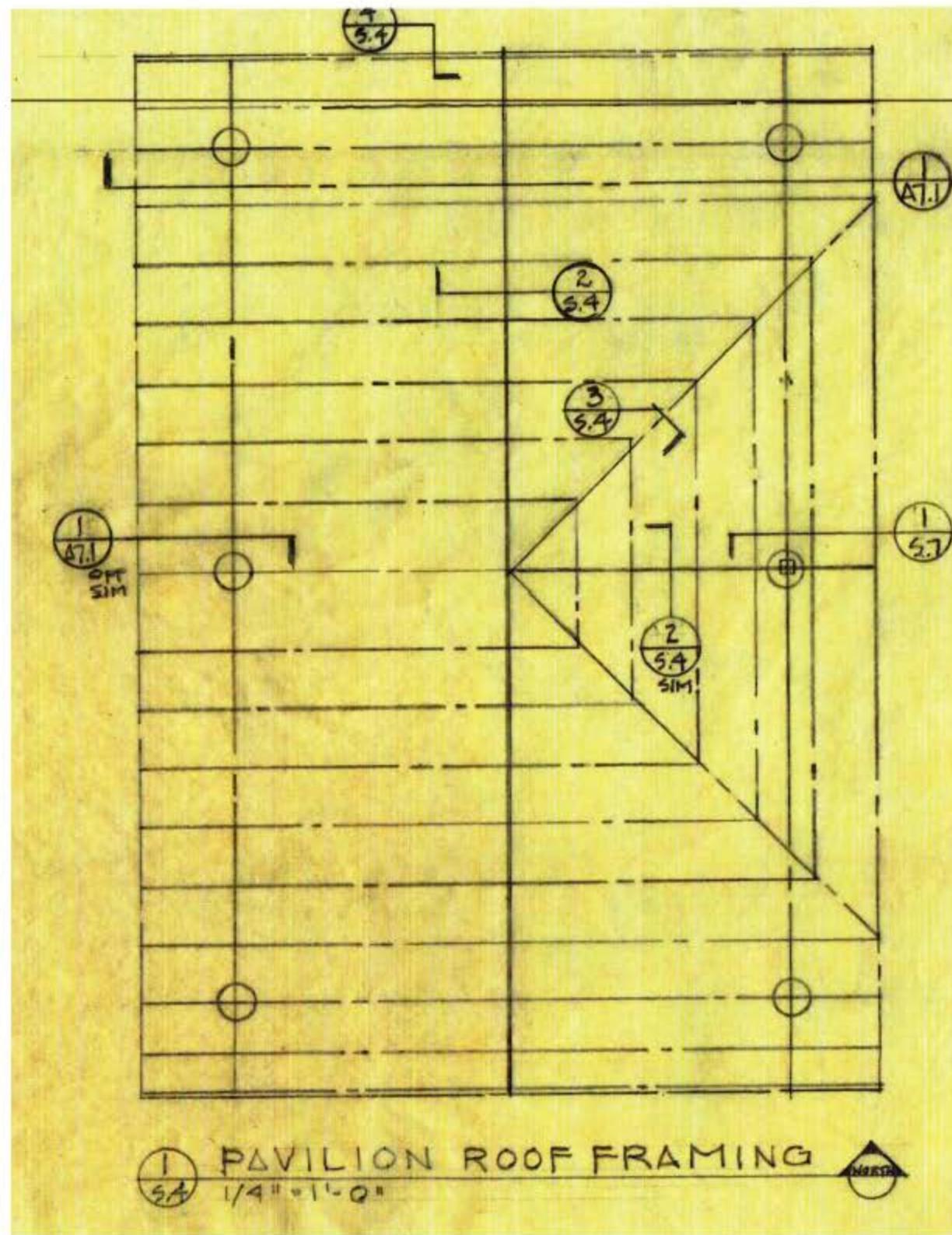
CONNECTOR SCHEDULE

MARK	SIMPSON CONNECTOR W/ FASTENERS	TYPE	SPF	SP
A	HETA18 W/ (8) - 10d x 1 1/2" OPT HETA20 W/ (8) - 10d x 1 1/2"	FRAME TO MASONRY	1810	1810
B	H2.5A W/ (10) - 8d NAILS	FRAME TO FRAME	535	600
C	HT10A W/ (18) - 10d x 1 1/2" HT10A-2 W/ (18) - 10d x 1 1/2" AT 2 PLY TRUSSES	FRAME TO FRAME	1015 1070	1340 1345
D	HT11S W/ (16) - 10d x 1 1/2" INCLUDE (3) 1/2" TOENAILS AT EXTERIOR LOCATION	FRAME TO FRAME	880	1000
E	MGT W/ (22) - 10d NAILS & 5/8" ATR W/ 5" EMBEDMENT W/ SIMPSON "SET" EPOXY	FRAME TO MASONRY	3140	3140
F	HT320 W/ (24) - 10d x 1 1/2" (AT EXTERIOR LOCATION INCLUDE (3) 1/2" TOENAILS	FRAME TO FRAME	1240	1450
G	HGT-3 W/ (18) - 10d W/ 5" EMBED (2) - 3/8" EA. EPOXY ANCHORS. (MGT-3 FOR 3PLY)	FRAME TO MASONRY	6280	6280
H	FGTR W/ (18) - SDS 5/8" x 3" WOOD SCREWS AND (2) 1/2" x 5" TITAN HD ANCHOR BOLTS	FRAME TO MASONRY	3600	3600
J	(2) LGT-2 W/ (30) - 16d SHIMERS (14) 5/8" x 2 1/4" TITENS (2-PLY TRUSS)	FRAME TO MASONRY	3700	4300
K	(2) LGT-3 W/ (34) SDS 5/8" x 2-1/4" & (8) - 3/8" x 5" TITENS HD'S (3-PLY TRUSS)	FRAME TO MASONRY	5310	7370
L	H2410 OPT HUC410 (MAY) W/ (18) - 10d & (10) - 10d NAILS	FRAME TO FRAME	Q=2305 U=1865	Q=2820 U=1850
M	H2410 OPT HUC410 W/ (18) TITEN 1/4" x 2 3/8" & (10) - 10d NAILS	FRAME TO MASONRY		Q=2025 U=1810
N	(2) HETA5 OPT (2) HETA20 1 PLY W/ (18) - 10d x 1 1/2" OR 2 PLY W/ (12) - 16d	FRAME TO MASONRY	2035 2035	2035 2500
O	HT2418 W/ (8) 10d NAILS AND (4) 1/4" x 2 1/4" TAPCONS	FRAME TO MASONRY	1020	1175
P	H105 W/ (8) 8d x 1 1/2" NAILS AND (2) 3/8" x 4" TITAN HD	FRAME TO MASONRY	915	1085
Q	MST27 W/ (30) 16d NAILS	FRAME TO FRAME	3200	3700

2 S.4

3 S.4

4 S.4



ROGER AND JUSTINE CASANTE  
NEW KITCHEN PAVILLION AND GARAGE  
2290 EVERLY STREET, OVIEDO FL 32762



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TOMAS PONCE MSCE, PE  
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LICENSE #6R0006314

Pavillion Roof Framing  
Plan  
Sheet S4

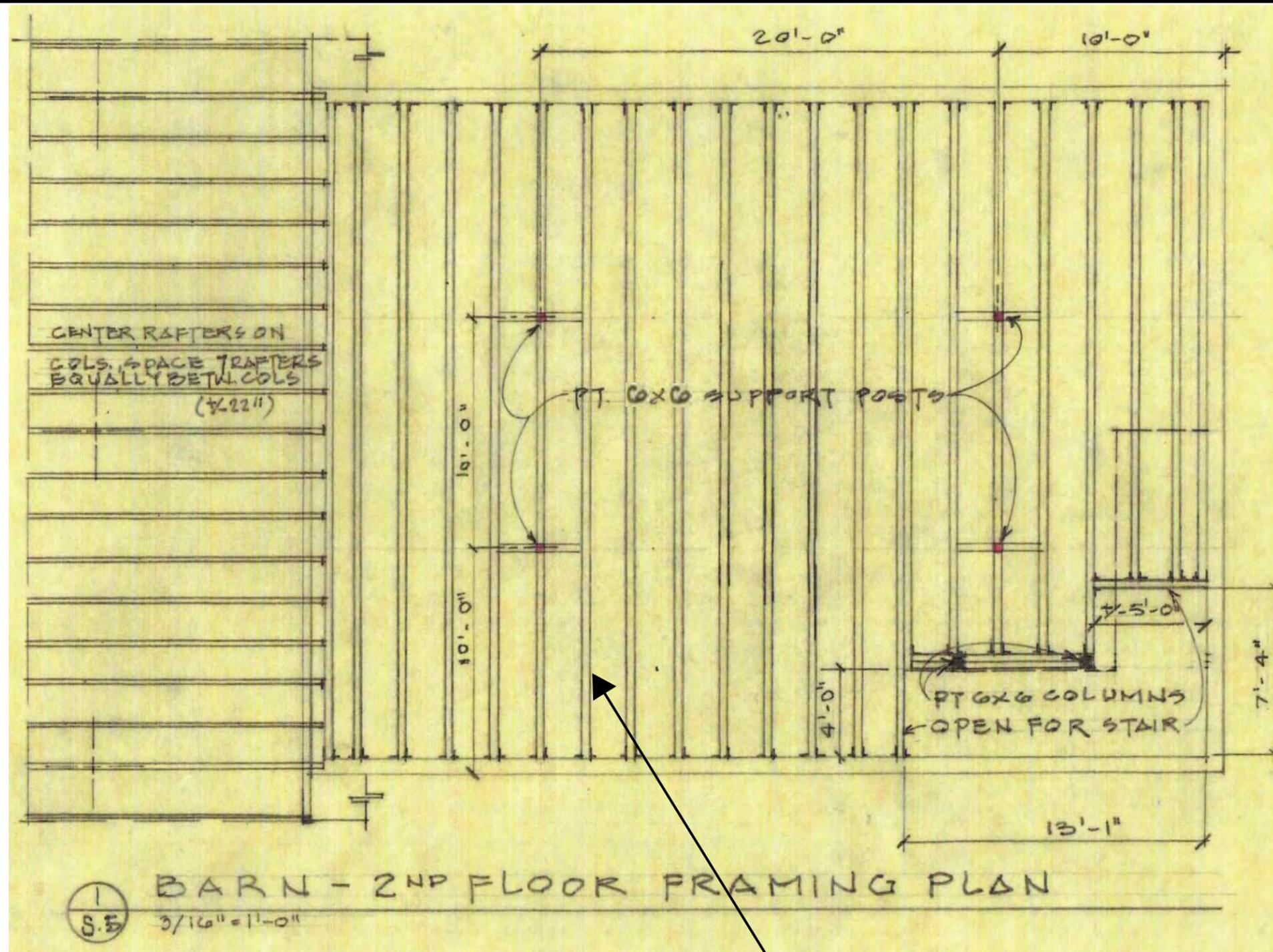
November 5, 2021

**GENERAL CONNECTOR NOTES**

- CONNECT ALL ROOF / FLOOR TRUSSES TO MASONRY WALLS/ LINTELS/ ICF WALLS W/ (A) CONNECTOR UNO ON PLAN
- CONNECT ALL TRUSSES TO INTERIOR/ EXTERIOR BEARING WOOD WALLS/ BEAMS W/ (C) CONNECTOR UNO ON PLAN
- CONNECT ALL TYPICAL HIP JACK (CORNER JACK) TO MASONRY WALLS/ LINTELS/ ICF WALLS W/ (A) CONNECTOR.
- IF WOOD WALL OR BEAM USE (2) (B) CONNECTORS UNO ON PLAN.
- CONNECT ALL FLOOR TRUSSES TO INTERIOR BEARING WOOD WALLS/ BEAMS W/(3)12d TOENAILS.
- ALL TRUSS TO TRUSS CONNECTIONS ARE TO BE PROVIDED BY TRUSS MANUFACTURER UNO ON PLAN.

**CONNECTOR SCHEDULE**

MARK	SIMPSON CONNECTOR W/ FASTENERS	TYPE	SPF	SP
A	HETA16 W/ (9) - 10d x 1 1/2" OPT HETA20 W/ (9) - 10d x 1 1/2"	FRAME TO MASONRY	1810	1810
B	H2.5A W/ (10) - 8d NAILS	FRAME TO FRAME	535	600
C	H10A W/ (18) - 10d x 1 1/2" H10A-2 W/ (18) - 10d x 1 1/2" AT 2 PLY TRUSSES	FRAME TO FRAME	1015 1070	1340 1245
D	MTS12 W/ (14) - 10d x 1 1/2" INCLUDE (3)12d TOENAILS AT EXTERIOR LOCATION	FRAME TO FRAME	860	1000
E	MGT W/ (22) - 10d NAILS & 5/8" ATR W/ 5" EMBEDMENT W/ SIMPSON "SET" EPOXY	FRAME TO MASONRY	3140	3140
F	HTS20 W/ (24) - 10d x 1 1/2" (AT EXTERIOR LOCATION INCLUDE (3)12d TOENAILS	FRAME TO FRAME	1245	1450
G	HGT-2 W/ (16) - 10d W/ 5" EMBED (2) - 3/4" DIA. EPOXY ANCHORS. (HGT-3 FOR 3PLY)	FRAME TO MASONRY	6280	6280
H	FGTR W/ (18)-SDS 1/4" x 3" WOOD SCREWS AND (2) 1/2" x 5" TITAN HD ANCHOR BOLTS	FRAME TO MASONRY	3600	5000
J	(2) LGT-2 W/ (32)-16d SINKERS (14) 1/4" x 2 1/4" TITENS (2-PLY TRUSS)	FRAME TO MASONRY	3700	4300
K	(2) LGT-3 W/ (24) SDS 1/4" x 2-1/4" & (8) - 3/8" x 5" TITENS HD's (3-PLY TRUSS)	FRAME TO MASONRY	5310	7370
L	HU410 OPT HUC410 (MAX) W/ (18)-16d & (10)-10d NAILS	FRAME TO FRAME	G=2305 U=1805	G=2680 U=1895
M	HU410 OPT HUC410 W/ (18) TITEN 1/4" x 2 3/4" & (10)-10d NAILS	FRAME TO MASONRY		G=5085 U=1810
N	(2) HETA16 OPT (2) HETA20 1 PLY W/ (10) - 10d x 1 1/2" OR 2 PLY W/ (12) - 16d	FRAME TO MASONRY	2035 2035	2035 2500
O	HTSM16 W/(8)10d NAILS AND (4) 1/4"x2 1/4" TAPCONS	FRAME TO MASONRY	1020	1175
P	H10S W/(8) 8d X 1 1/2" NAILS AND (2) 3/8"x4" TITAN HD	FRAME TO MASONRY	915	1065
Q	MST27 W/ (30) 16d NAILS	FRAME TO FRAME	3200	3700



SIMPSON CONNECTORS  
 POST BASES PPB66-4Z  
 POST CAPS PC6Z  
 FLOOR TRUSSES MBHU3.56/16KT to CMU  
 RAFTER ENDS H10A

24" High Open Web Wood Floor Joists (typ)

This item has been digitally signed and sealed by [Tomas Ponce PE, FL # 0050068], on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

ROGER AND JUSTINE CASANTE  
 NEW KITCHEN PAVILLION AND GARAGE  
 2290 EVERLY STREET, OVIEDO FL 32762



"THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE - RESIDENTIAL 6th EDITION (2017)"  
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 LICENSE #AR0008314.

Barn 2nd Floor Framing Plan

Sheet S5

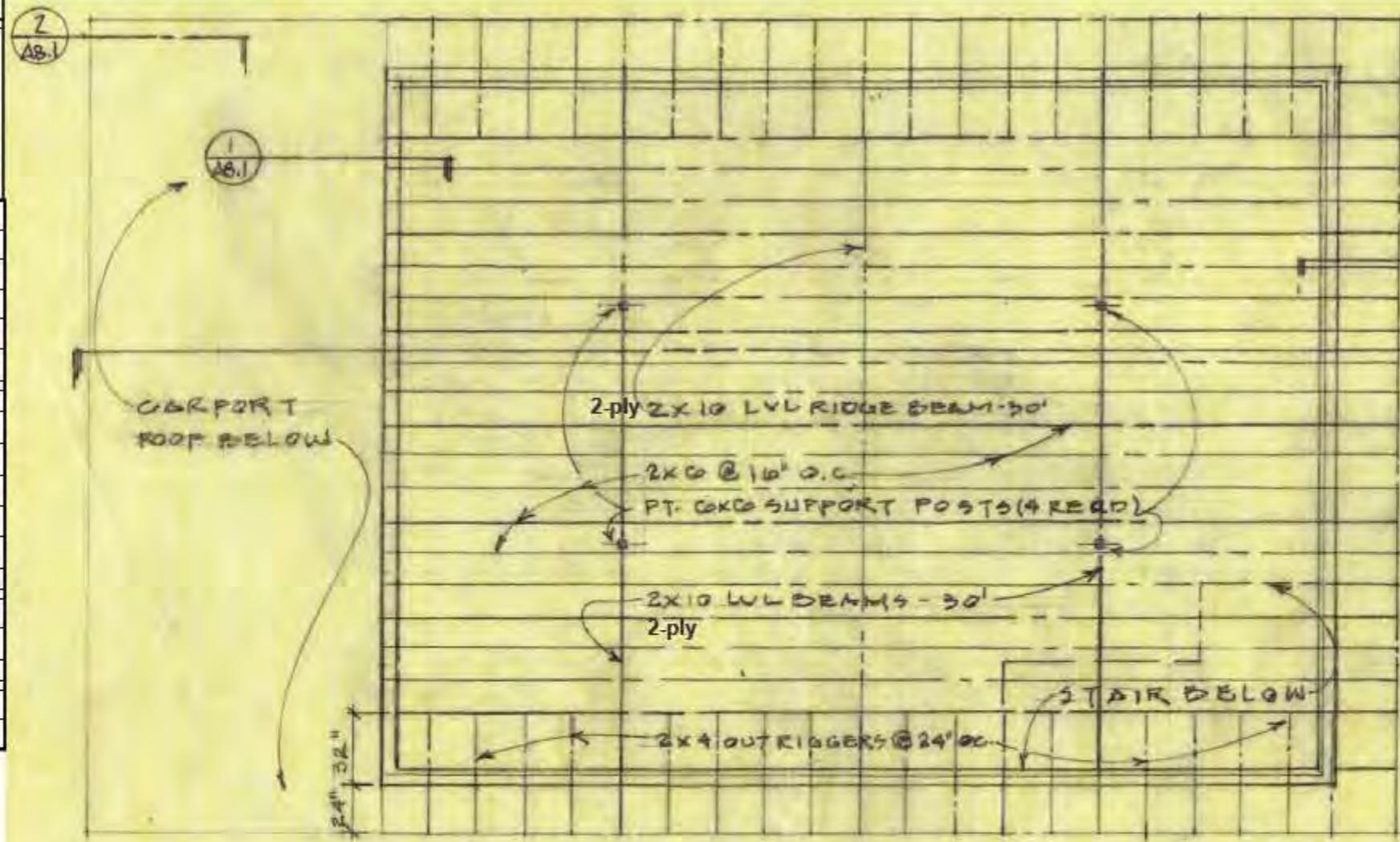
October 11, 2021

GENERAL CONNECTOR NOTES

1. CONNECT ALL ROOF / FLOOR TRUSSES TO MASONRY WALLS / LINTELS / KCF WALLS W/ (A) CONNECTOR UNO ON PLAN
2. CONNECT ALL TRUSSES TO INTERIOR / EXTERIOR BEARING WOOD WALLS / BEAMS W/ (C) CONNECTOR UNO ON PLAN
3. CONNECT ALL TYPICAL HP JACK (CORNER JACK) TO MASONRY WALLS / LINTELS / KCF WALLS W/ (A) CONNECTOR.  
IF WOOD WALL OR BEAM USE (B) CONNECTORS UNO ON PLAN.
4. CONNECT ALL FLOOR TRUSSES TO INTERIOR BEARING WOOD WALLS / BEAMS W/ (D) TOENAILS
5. ALL TRUSS TO TRUSS CONNECTIONS ARE TO BE PROVIDED BY TRUSS MANUFACTURER UNO ON PLAN.

CONNECTOR SCHEDULE

MARK	SIMPSON CONNECTOR W/ FASTENERS	TYPE	SPF	GP
A	HETA16 W (9) - 10d x 1 1/2" OPT HETA20 W (9) - 10d x 1 1/2"	FRAME TO MASONRY	1610	1610
B	H2.5A W (10) - 8d NAILS	FRAME TO FRAME	535	550
C	H10A W (16) - 10d x 1 1/2" H10A-2 W (16) - 10d x 1 1/2" AT 2 PLY TRUSSES	FRAME TO FRAME	1210 1270	1240 1240
D	MTE12 W (14) - 10d x 1 1/2" INCLUDE (2)1/2" TOENAILS AT EXTERIOR LOCATION	FRAME TO FRAME	400	1000
E	MGT W (22) - 10d NAILS & 5/8" ATR W/ 9" EMBEDMENT W/ SIMPSON "101" EPOXY	FRAME TO MASONRY	3140	3140
F	H202 W (24) - 10d x 1 1/2" (AT EXTERIOR LOCATION INCLUDE (2)1/2" TOENAILS	FRAME TO FRAME	1240	1400
G	HT2 W (16) - 10d W/ 9" EMBED (2) - 3/8" DIA. EPOXY ANCHORS (MGT-3 FOR 3PLY)	FRAME TO MASONRY	6380	6380
H	POW W (18) (2)1/2" x 1 1/2" x 2 1/2" WOOD SCREWS AND (2) 1/2" x 9" TITAN HD ANCHOR BOLTS	FRAME TO MASONRY	3600	5000
J	(2) LDT-2 W (14) 10d BRIDERS (14) 1/4" x 2 1/4" TITENS (2-PLY TRUSSES)	FRAME TO MASONRY	3700	4300
K	(2) LDT-3 W (14) SDS 1/4" x 2-1/4" & (8) - 3/8" x 9" TITENS HD's (3-PLY TRUSSES)	FRAME TO MASONRY	5310	7270
L	HU410 OPT HUC410 (MAX) W/ (10) 10d & (10) 10d NAILS	FRAME TO FRAME	Q=2305 U=1825	Q=2680 U=1825
M	HU410 OPT HUC410 W/ (16) TITEN 1/4" x 2 3/4" & (10) 10d NAILS	FRAME TO MASONRY	Q=2685 U=1810	
N	(2) HETA16 OPT (2) HETA20 1 PLY W/ (16) - 10d x 1 1/2" OR 2 PLY W/ (12) - 10d	FRAME TO MASONRY	2635 2635	2530 2500
O	HT0M16 W/ (16) 10d NAILS AND (4) 1/4" x 1 1/2" TAPSCONS	FRAME TO MASONRY	1600	1175
P	H102 W (16) 8d x 1 1/2" NAILS AND (2) 3/8" x 9" TITAN HD	FRAME TO MASONRY	915	1065
Q	MGT27 W (26) 10d NAILS	FRAME TO FRAME	3330	3700



1  
S.6 BARN - ROOF FRAMING PLAN  
3/16" = 1'-0"

- POST BASES PPB66-4Z
- POST CAPS PC6Z
- LVL END BUCKETS HUCQ410-SDS
- RAFTER ENDS H10A

ROGER AND JUSTINE CASANTE  
NEW KITCHEN PAVILION AND GARAGE  
2290 EVERLY STREET, OVIEDO FL 32762



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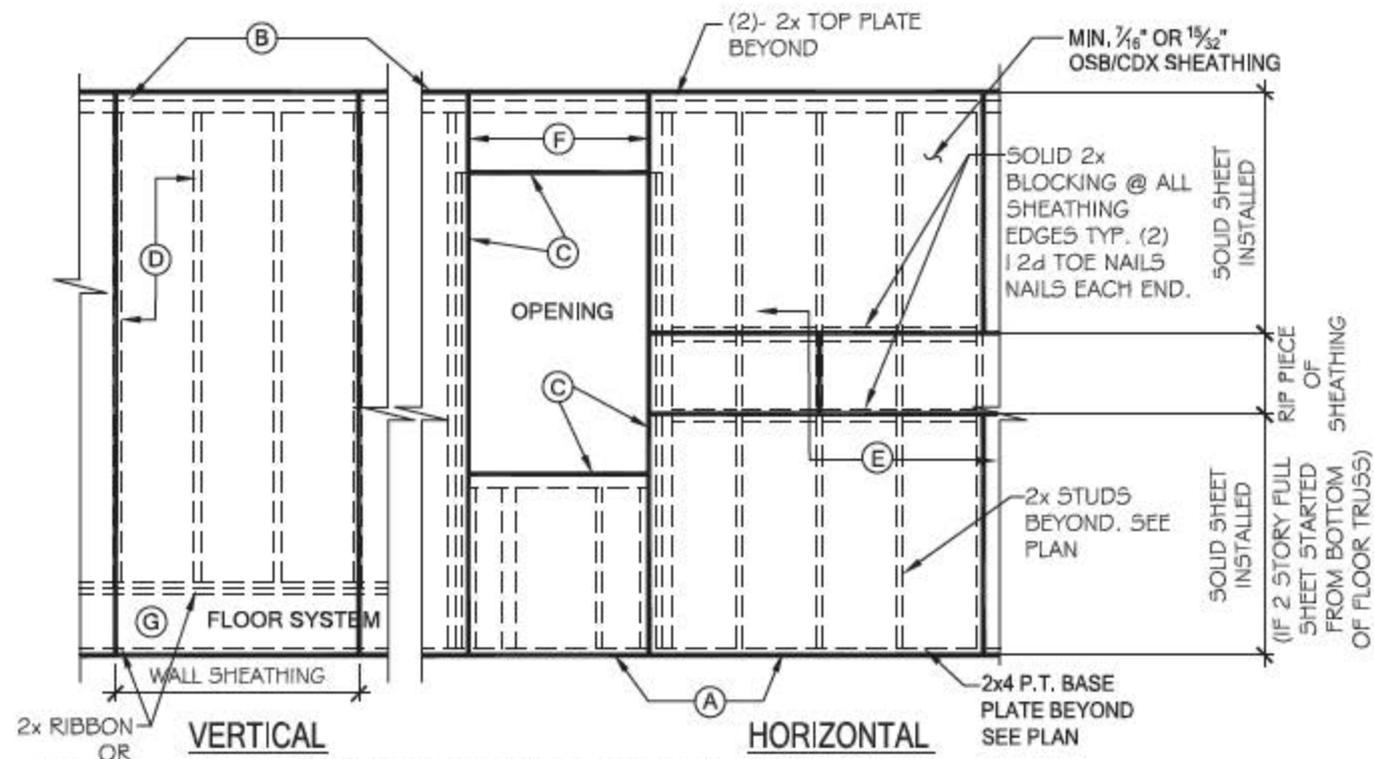
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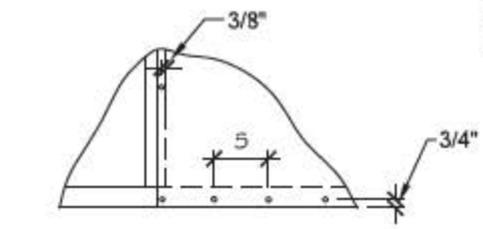
Barn Roof Framing Plan  
Sheet S6

November 5, 2021



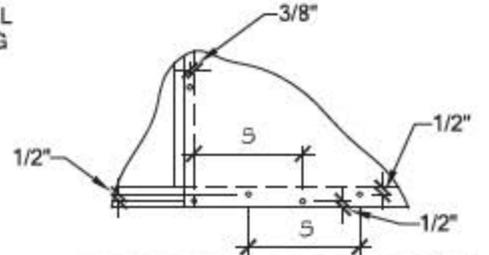
**VERTICAL WALL ELEVATION DIAGRAM**

2x RIBBON OR BLOCKING BETWEEN FLOOR SYSTEM



**SINGLE NAIL EDGE SPACING**

"S" = NAIL SPACING



**DOUBLE NAIL EDGE SPACING**

- (A) NAIL AT BASE 2 ROWS @ 4" O.C. W/8d COMMON NAIL
- (B) NAIL AT TOP PLATE TWO ROWS @ 4" O.C. W/8d COMMON NAIL
- (C) NAIL OPENING PERIMETER @ 3" O.C. W/8d COMMON NAIL
- (D) NAIL INT. AT 6" O.C. W/8d COMMON NAIL
- (E) STAGGER ALL VERT. JOINTS & NAIL @ 4" O.C. W/8d COMMON NAIL
- (F) PLYWOOD SPLICES @ HEADER - NAIL SHEATHING TO HEADER W/ 8d COMMON NAILS @ 4" O.C.
- (G) (2) 8d NAILS @ 3" O.C. TO EACH TRUSS END OR @ VERTICAL MEMBER IF GABLE END

**NOTE: 8d NAILS FOR WALL SHEATHING MUST BE MIN .131" X 2 1/2"**

ROGER AND JUSTINE CASANTE  
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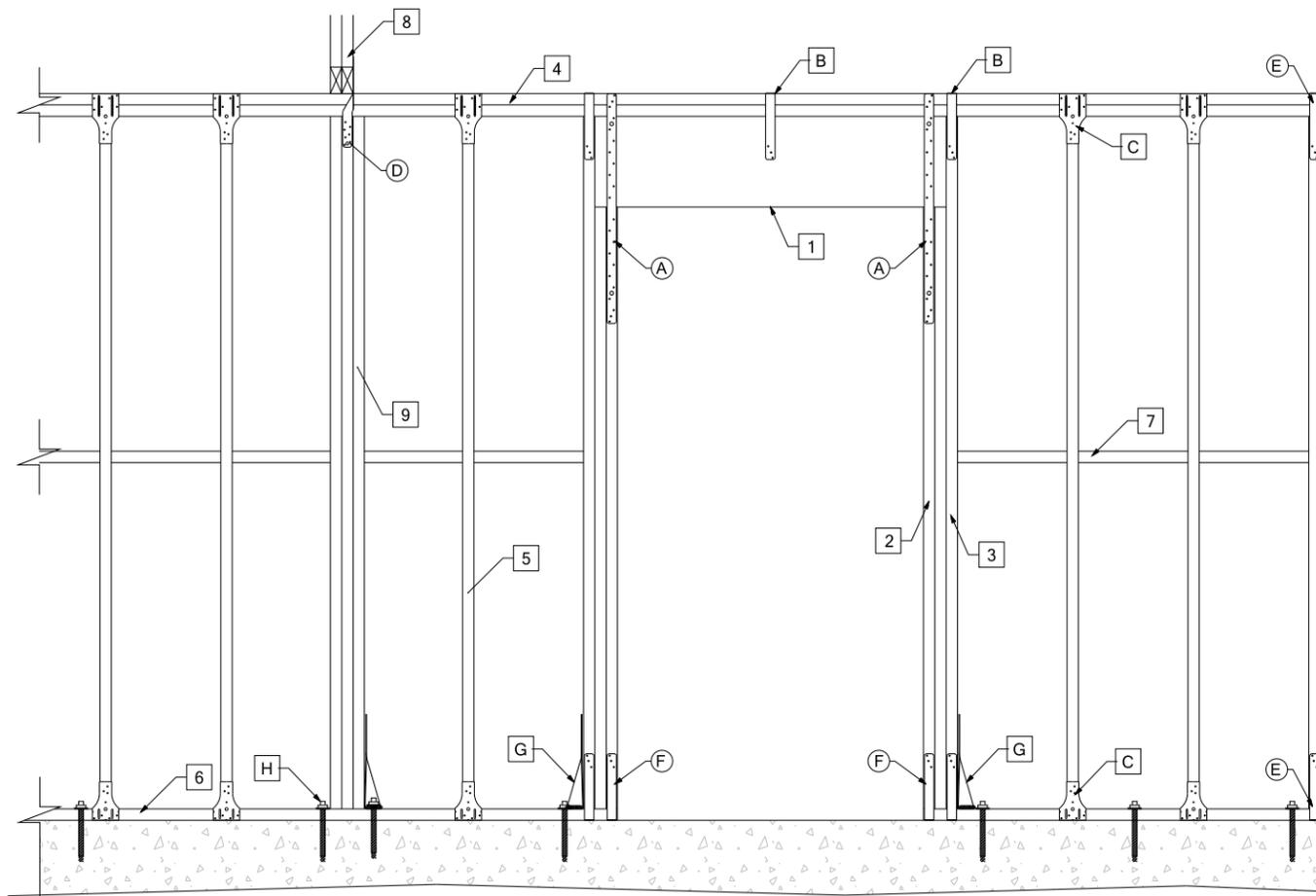
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Structural Details 1  
Sheet S7

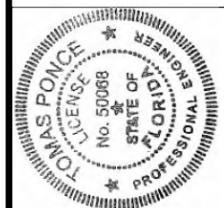
November 5, 2021



**WALL FRAMEING DETAIL**

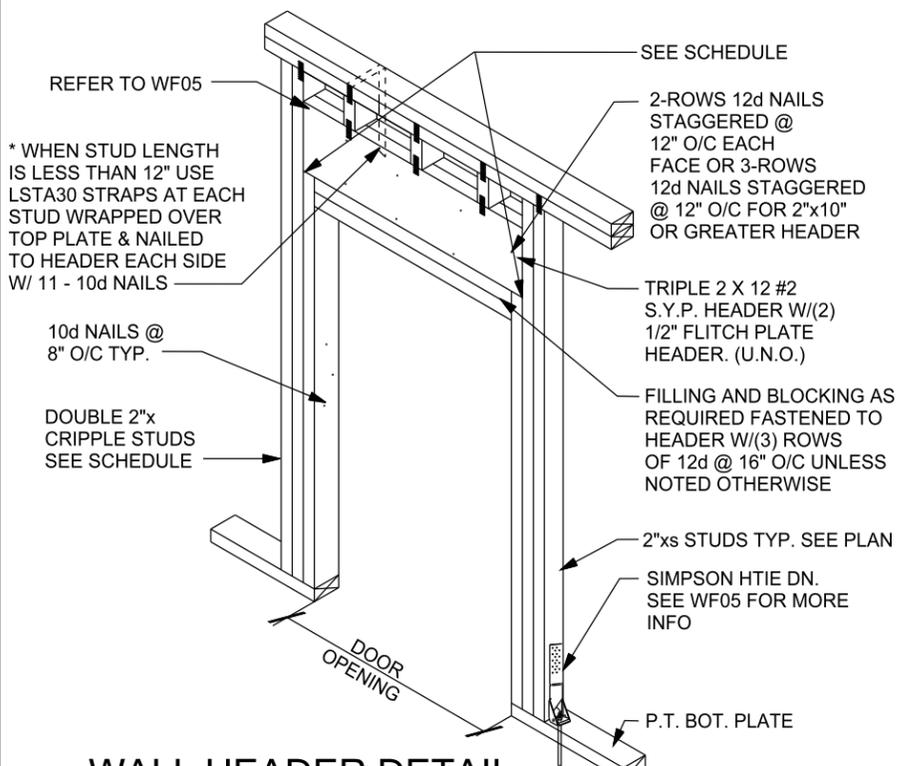
- 1 HEADER (3) 2X12 SYP #2. w/ 11/16" OSB BETWEEN 2x UNLESS NOTED OTHERWISE
- 2 JACK STUDS BELOW HEADER. SEE FLOOR PLAN FOR JACK STUD REQUIREMENTS.
- 3 2x KING STUDS AT END OF HEADER. SEE FLOOR PLAN FOR KING STUD REQUIREMENTS
- 4 (2) 2x TOP PLATE. (2) rows of 8d nails spaced 4" OC.
- 5 2x STUDS @ 16" O.C. U.N.O. ON PLANS. ATTACH STUDS TO TOP AND BOTTOM PLATES WITH (2) 10d NAILS.
- 6 2x P.T. SILL PLATE
- 7 2X MID HEIGHT BLOCKING W/ (2) 10d NAILS EACH END.
- 8 GIRDER/BEAM. SEE PLAN FOR ADDITIONAL INFORMATION.
- 9 COLUMN UNDER GIRDER/BEAM. SEE PLAN FOR SIZE, TYPE, AND BASE CONNECTION OF COLUMN.
- A SIMPSON LSTA30 w/ (22)- 10d NAILS @ EACH END OF HEADER TO JACK STUD IF SPECIFIED ON PLANS. DOUBLE IF SPECIFIED ON PLANS.
- B SIMPSON SP4 W/ (6) 10d x 1 1/2" NAILS AT EACH KING STUD AND @ 24" O.C. ABOVE HEADER OPENING WHERE STRAPS ARE SPECIFIED AT EACH END OF HEADER ON PLANS.
- C CONNECTOR AT TOP AND BOTTOM OF EACH STUD IF SPECIFIED ON PLANS.
- D SEE PLAN FOR GIRDER/BEAM CONNECTION.
- E SIMPSON SP4 W/ (6) 10d x 1 1/2" NAILS AT TOP OF BOTTOM OF END STUD.
- F (2) SIMPSON SP4 W/ (6) 10d X 1 1/2" NAILS AT EACH END OF OPENING. USE ALTERNATE CONNECTION (G) WHEN STRAPS AT HEADER ABOVE ARE DOUBLED.
- G SIMPSON HTT5 W/ (18) 16d NAILS AND 3/4" EXPANSION ANCHOR w/ 6" EMBEDMENT TYPICAL (8 1/2" AT STEP-DOWN CONDITION).
- H 1/2" ANCHOR BOLTS @ 32" O.C. AND 6" FROM ENDS OF SILL PLATE W/ MIN. 7" EMBEDMENT. IN LIEU OF ANCHOR BOLTS USE 1/2" SIMPSON TITEN HD AT SAME SPACING AND EMBEDMENT.

This item has been digitally signed and sealed by [Tomas Ponce PE, FL # 0050068], on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



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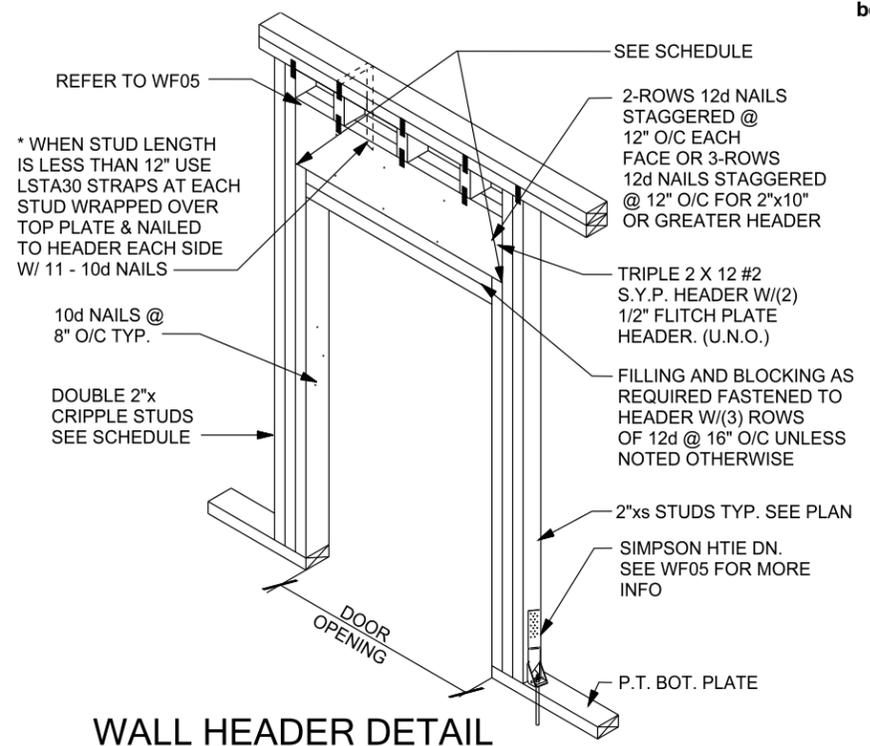
ROGER AND JUSTINE CASANTE  
 NEW KITCHEN PAVILLION AND GARAGE  
 2290 EVERLY STREET, OVIEDO FL 32762



**WALL HEADER DETAIL**

HEADER SUPPORT NO. OF JACKS & STUDS REQ. AT OPENINGS				
OPENING SIZE	2 X 4 WALL		2 X 6 WALL	
	JACKS EA END	STUDS EA END	JACKS EA END	STUDS EA END
1' - 4'	(1)	(2)	(1)	(2)
4' - 9'	(2)	(3)	(2)	(2)
9' - 16'	(3)	(3)	(2)	(3)

HEADER ANCHOR NAILED TO TOP PLATES, HEADER & JACK	
HEADER SIZE & GRADE	NO. & SIZE OF RAFTER TIES EACH END
(3) 2X12" 2SYP	(2) LSTA 30



**WALL HEADER DETAIL**

HEADER SUPPORT NO. OF JACKS & STUDS REQ. AT OPENINGS				
OPENING SIZE	2 X 4 WALL		2 X 6 WALL	
	JACKS EA END	STUDS EA END	JACKS EA END	STUDS EA END
1' - 4'	(1)	(2)	(1)	(2)
4' - 9'	(2)	(3)	(2)	(2)
9' - 16'	(3)	(3)	(2)	(3)

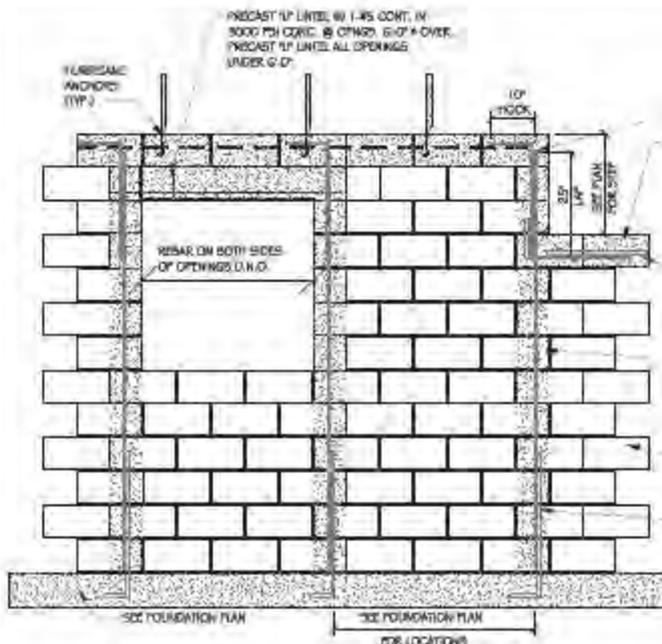
HEADER ANCHOR NAILED TO TOP PLATES, HEADER & JACK	
HEADER SIZE & GRADE	NO. & SIZE OF RAFTER TIES EACH END
(3) 2X12" 2SYP	(2) LSTA 30

**MILZARCH, LLC**

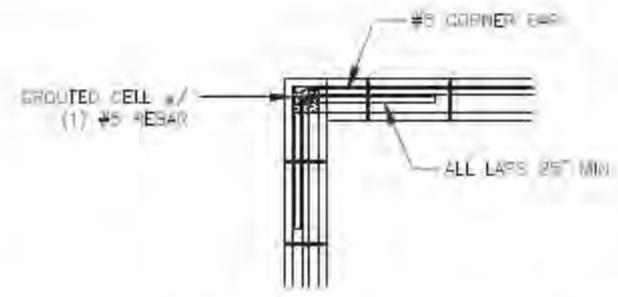
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 407 921 8795 MILZARCH@GMAIL.COM  
 LICENSE #AR0008314.

Structural Details 2  
 Sheet S8

October 11, 2021



- STD. 90 HOOK
- TYP. BOND BEAM  
8" x 8" x 16" F.O.I.  
UNITE BLOCK  
FULL MASONRY P.S.I.  
CONC. W/ #5 DIA. REBAR
- STD. 90 DEGREE  
ANGLE 3000 P.S.I.  
CONC. W/ #5 DIA. REBAR
- INDICATES REBAR  
CELL FROM F.T.D. TO  
DRAWN WITH #5  
BAR
- 3" x 2" x 1/2"  
CONC. U.N.O.
- TYP. BOWLE 23"  
MIN. LAP 1/2"

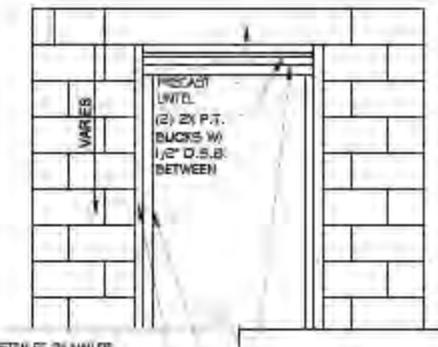


TYPICAL BOND-BEAM @ CORNER  
SCALE: 3/4"=1'-0"

M501 BLOCK WALL REINFORCEMENT  
SCALE: N.T.S.

ATTACHMENT REQUIREMENTS			
SIZE	TAPCONS	SPACING	# ROWS
2 x 4	3/16" x 3"	12" O.C.	1
2 x 6	3/16" x 3"	12" O.C.	2
2 x 8	3/16" x 3"	12" O.C.	2

NOTE: TAPCONS TO BE 6" FROM ENDS FASTENING OF WINDOW TO BLOCK RESPONSIBILITY OF WINDOW MANUFACTURER.



FASTEN FT 2X MAILER TO MASONRY  
IF DOUBLE 2X MAILER IS USED, USE 1/4" x 4 1/2" TAPCONS. SEE OTHER NOTE FOR SPACING  
IF DOUBLE 2X MAILER IS USED, USE 1/4" x 4 1/2" TAPCONS. SEE OTHER NOTE FOR SPACING

M511 2x BUCK DETAIL  
SCALE: N.T.S.

**LINTEL PLAN NOTES:**

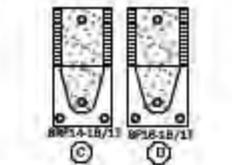
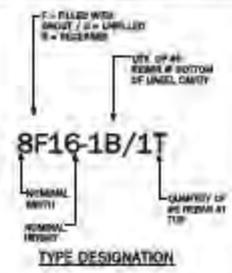
- 1- THIS PLAN IS TO BE USED FOR STRUCTURAL INFORMATION ONLY.
- 2- THE NUMBER OF COURSES OF MASONRY REQUIRED BETWEEN THE LINTEL & THE BOND BEAM SHOULD BE COORDINATED WITH THE ELEVATION DRAWINGS
- 3- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE PROPER LINTEL HEIGHT.

**GENERAL NOTES**

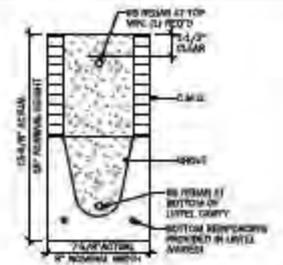
1. AREAS OF BLOCK ABV. MASONRY OPENINGS ARE TO BE GROUTED SOLID TO THE BEAM.
2. (1) #5 REBAR IN TIE BEAM IS TO BE CONT. THROUGH OUT INCLUDING ABV. MASONRY OPENINGS. U.N.O.
3. ALL STANDARD LINTELS TO HAVE MIN. 4" BEARING EA. END ALL RECESSED LINTELS TO HAVE MIN. 8" BEARING EA. END
4. \* LINTEL MINIMUM DEPTHS ARE CALLED OUT. IF CONTRACTOR INSTALLS A DEEPER LINTEL THAN INDICATED ON THE PLAN, DOING THIS INCREASES THE STRENGTH OF THE LINTEL.
5. (\* ANY LINTEL DEEPER THAN 32" HAS BEEN VERIFIED TO WORK AS A MIN. 32" FOR THE LOAD CONDITIONS. ANY LINTEL GREATER THAN 32" HAS A GREATER CAPACITY AND THEREFORE IS ADEQUATE FOR THE LOADS.

**GENERAL CONCRETE LINTEL**

APPROVED LINTELS:  
CASTE-CRETE, QUALITY, LOTS



- MINIMUMS**
1. Concrete Strength = 3000 psi.
  2. Concrete Density = 150 pcf.
  3. Grout per ASTM D476 Pg. 3090 per sec.
  4. Maximum 3/8" aggregate and 3" to 15" slump.
  5. Concrete modulus with (CM) per ASTM C109 w/ minimum net area compressive strength = 3000 psi.
  6. Rebar per ASTM A631 Grade 60. (Reinforcing steel per ASTM A618 grade)
  7. 2/3 see references.
  8. Mortar per ASTM A210.
  9. Mortar per ASTM C270 type II or S.



GENERAL CONCRETE LINTEL  
SCALE: N.T.S.

- GENERAL INSTALLATION NOTES**
1. Provide full mortar head and bed joints.
  2. Slope block lintels as required.
  3. Installation of lintel must comply with the manufacturer's and/or structural drawings.
  4. Loadings are indicated with 1/2" x 1/2" rebar handles at the ends in unreinforced vertical and horizontal end elevations.
  5. All lintels must be placed on a minimum vertical foundation, except for 17'-4" and larger with a minimum height of 2' rest on masonry 1/2".
  6. Surface load rebar shall be located at the bottom of the lintel using:
  7. 1/2" diameter wire which are welded to the vertical steel for horizontal anchorage.
  8. Cast-in-place concrete may be provided in concrete form in lieu of concrete rebar.
  9. Lintel load ratings based on typical design analysis per ACI 318 and ACI 308.
  10. Florida Product Approval No. 158-1.
  11. The interior surface of lintel installed in exterior concrete masonry walls shall have a coating of stucco applied in accordance with ASTM C625 or other approved coating.
  12. Lintels must be constructed with vertical gravity and uplift and resistance (except lintels should be checked for combined loading with the following equation):
- $$\frac{\text{Applied vertical load}}{\text{Safe vertical load}} + \frac{\text{Applied horizontal load}}{\text{Safe horizontal load}} \leq 1.0$$

**LINTEL SCHEDULE:**

16" Garage Openings	- 17'-4" 8F16-1B/1T
3'-4" Window Openings	- 4'-6" 8F16-0B/1T
3'-4" Door Openings	- 4'-6" 8F16-0B/1T
4'-4" Openings	- 5'-10" 8F16-0B/1T



THIS PLAN AND ALL SPECIFICATIONS IN ACCORDANCE WITH THE FLORIDA BUILDING CODE. I AM A LICENSED PROFESSIONAL ENGINEER.  
TOMAS PONCE MSCE, PE  
FL PE # 500689  
367 MEDALLION PL.  
CHULUOTA, FL 32766  
PH: (407) 484-0037

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Structural Notes/  
Wind Pressures

Sheet S9

November 5, 2021

ROGER AND JUSTINE CASANTE  
NEW KITCHEN PAVILION AND GARAGE  
2290 EVERLY STREET, OVIEDO FL 32762

FEED FROM POWER COMPANY @ NEW POLE

NEW METER @ NEW PWR POLE

NEW MAIN DISCONNECT @ PWR POLE

200 AMP SERVICE RATED DISCONNECT

200 AMP PANEL AT BARN/GARAGE

100 AMP PANEL @ PAVILION

2 1/2" SCHED 80 PVC UNDER GROUND FROM NEW POWER POLE TO BARN, THEN TO PAVILION

6" MIN  
5/8" x 10' GROUND RODS (2)

2 ELECT RISER DIAG.  
E.1 NO SCALE

(3) #3/0 CU IN 2 1/2" CONDUIT FROM METER TO DISCONNECT

(3) #3/0 CU, (1) #6 AWG CU GROUND IN 2 1/2" CONDUIT FROM DISCONNECT TO PANEL

25'  
7'-35"

216'  
NEW CONC

NEW GARAGE & GARPORT 30 X 50

NEW CONC

NEW FIRE PIT

NEW PAVERS

EX. PAVERS

NEW OUTDOOR KITCHEN & COVERED PAVILION 20 X 30

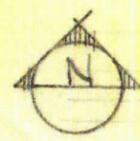
15' 100 AMP PANEL

EX. DRAINFIELD

EXISTING 1 STORY RESIDENCE

(3) #1 AWG CU & (1) #8 AWG CU IN 2 1/2" CONDUIT TO FEED THIS PANEL  
PROVIDE 100 AMP / 2-POLE BREAKER @ GARAGE/BARN PANEL TO FEED PAVILION 100 AMP PANEL

NEW P.T. POWER POLE W/ METER & MAIN DISCONNECT. RUN UNDERGROUND IN 2 1/2" SCHED. 80 PVC TO INSIDE THE BARN (COORDINATE WITH PLACEMENT OF FOUNDATION & CMU WALL) UP TO NEW 200 AMP PANEL. THEN RUN 2 1/2" SCHED 80 PVC UNDERGROUND IN & UP TO A NEW 100 AMP PANEL IN THE PAVILION STORAGE RM. GROUND AS REQ'D. SEE 2/E.1, THIS SHT.



SITE PLAN - ELECTRICAL

1" = 30'-0"

M20

ROGER AND JUSTINE CASCANTE  
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KITCHEN PAVILION AND GARAGE  
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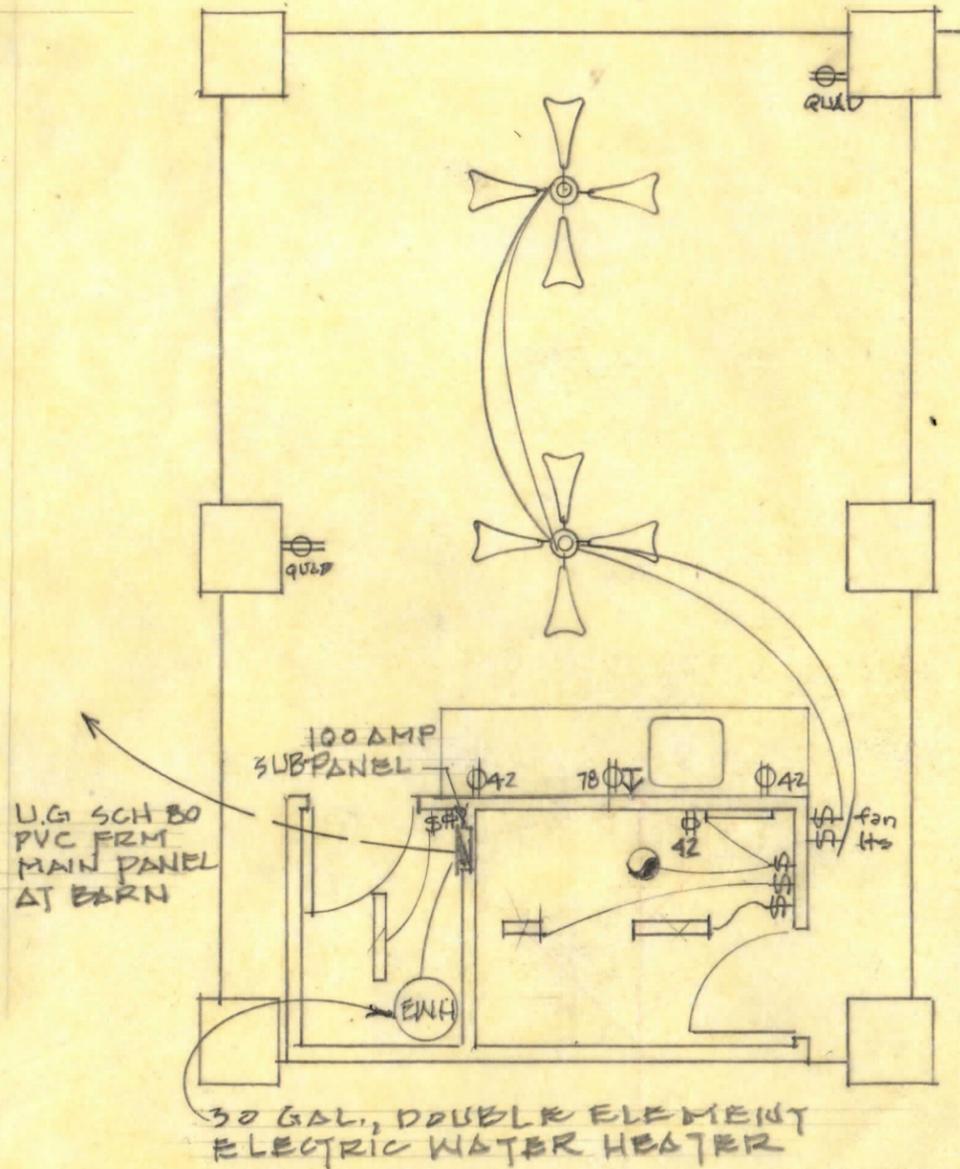
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LICENSE #AR0000114

SITE ELECTRICAL

E.1

**ELECTRICAL NOTES**

- UNLESS OTHERWISE SPECIFICALLY STATED HEREIN, THE ELECTRICAL PLAN(S) ARE ONLY FOR GENERAL DESIGN INTENT AND HAVE BEEN COMPILED TO MEET PERMIT REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION. ACTUAL QUANTITY, TYPE, AND PLACEMENT OF OUTLETS, SWITCHES, FIXTURES, AND ALL OTHER RELATED ELECTRICAL EQUIPMENT SHALL BE DETERMINED BY THE CONTRACTOR AND OWNER. INSTALLATION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES.
- CONTRACTOR SHALL VERIFY WITH POWER COMPANY THE LOCATION OF SERVICE AND SHALL LOCATE METER AND PANEL AS REQUIRED.
- ALL WIRES SHALL BE THW COPPER, UNLESS NOTED OTHERWISE.
- WHERE REQUIRED BY OTHER CODES, SERVICE AND FEEDER CONDUCTORS SHALL BE COPPER OF EQUAL AMPACITY.
- ALL BRANCH CIRCUITS IN RACEWAY OR NON-METALLIC SHEATHED CABLE.
- COORDINATE RACEWAY INSTALLATIONS WITH OTHER TRADES PRIOR TO CONSTRUCTION.
- VERIFY ALL CONDUCTORS AND BREAKERS WITH EQUIPMENT MANUFACTURERS SPECIFICATIONS.
- PROVIDE DISCONNECT SWITCH SIZE AS REQUIRED BY LOAD AND UNITS.
- PROVIDE NON-FUSIBLE GENERAL DUTY SAFETY SWITCHES AT AC EQUIPMENT, AND AT PUMPS NOT VISIBLE FROM CIRCUIT BREAKER PANEL AND AS PER MANUFACTURER'S RECOMMENDATIONS.
- PROVIDE GROUND FAULT INTERRUPT (GFI) BREAKERS FOR ALL BATHROOM, GARAGE AND EXTERIOR OUTLETS AS SHOWN.
- ELECTRICAL FIXTURES, TRIM AND APPLIANCES SHALL BE 'UL' APPROVED AND SELECTED BY OWNER.
- PROVIDE PRE-WIRED TELEPHONE AND TELEVISION (CABLE TV) OUTLETS.
- WIRE KITCHEN AND FAMILY ROOM SEPARATELY. *N/A*
- ELECTRICAL SERVICE SIZE SHALL BE DESIGNED BY THE ELECTRICAL CONTRACTOR. THIS PLAN SHALL BE USED AS A GUIDE, POWER REQUIREMENTS SHALL BE DETERMINED BY TOTAL LOAD OF THE HOUSE.
- PROVIDE AFCIs (ARC FAULT INTERRUPTERS) IN ALL DWELLING UNIT BEDROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOMS PER (E3902.12). *N/A*
- PROVIDE TAMPER PROOF OUTLETS.
- EVENLY SPACE (3) 4" SINGLE TUBE LED FIXTURES ALONG THE RIDGE OF THE ATTIC CEILING. *+ OTHERS AS SHOWN.*



*U.G. SCH 80 PVC FRM MAIN PANEL AT BARN*

**1 POWER & LTG - PAVILION**  
**E.2 3/16" = 1'-0"**

**NOTE FOR PAVILION AND BARN: ALL RECEPTACLES TO BE GFCI & ALL AT THE EXTERIORS TO BE WEATHER PROOF WITH IN-USE COVERS.**

**ELECTRICAL LEGEND**

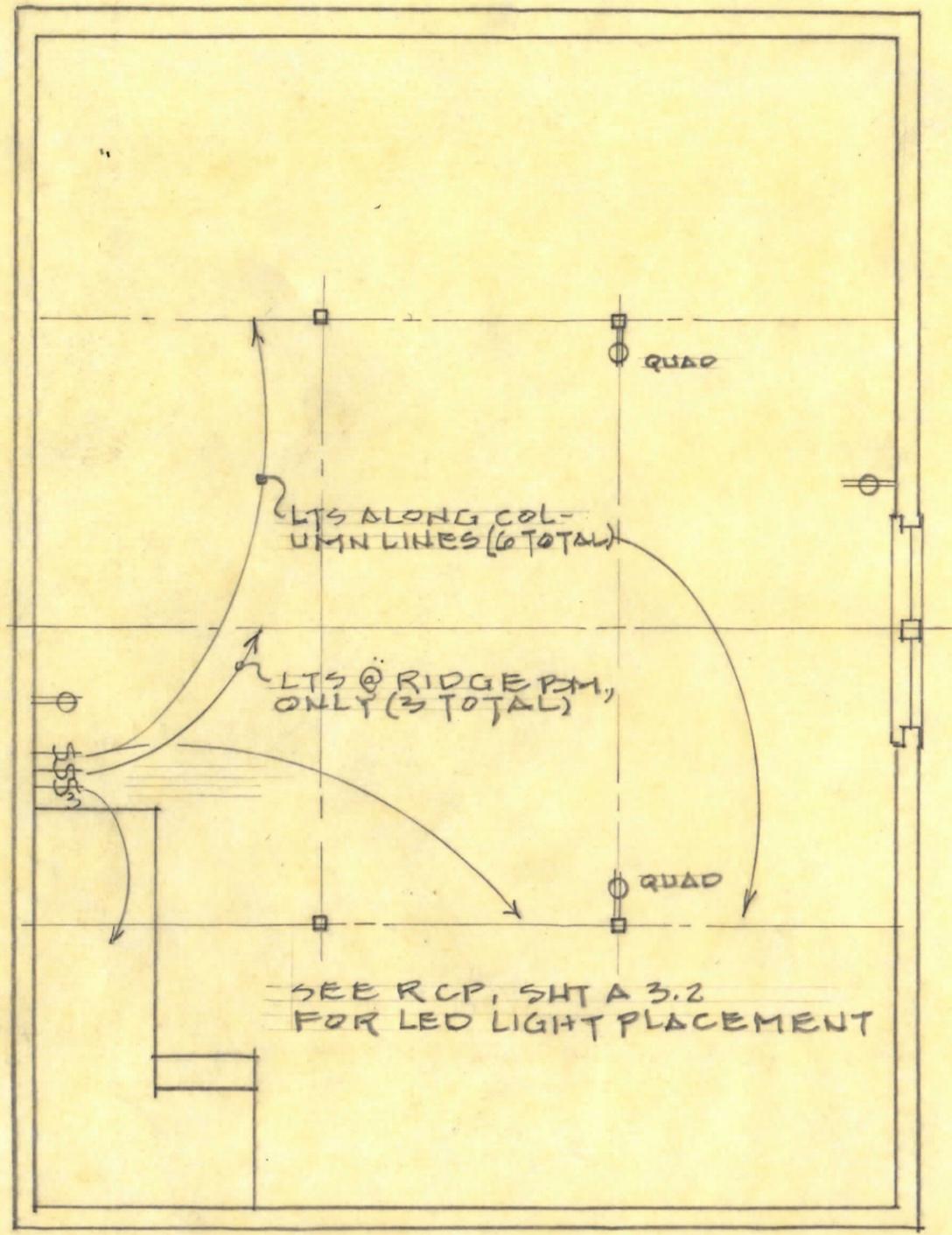
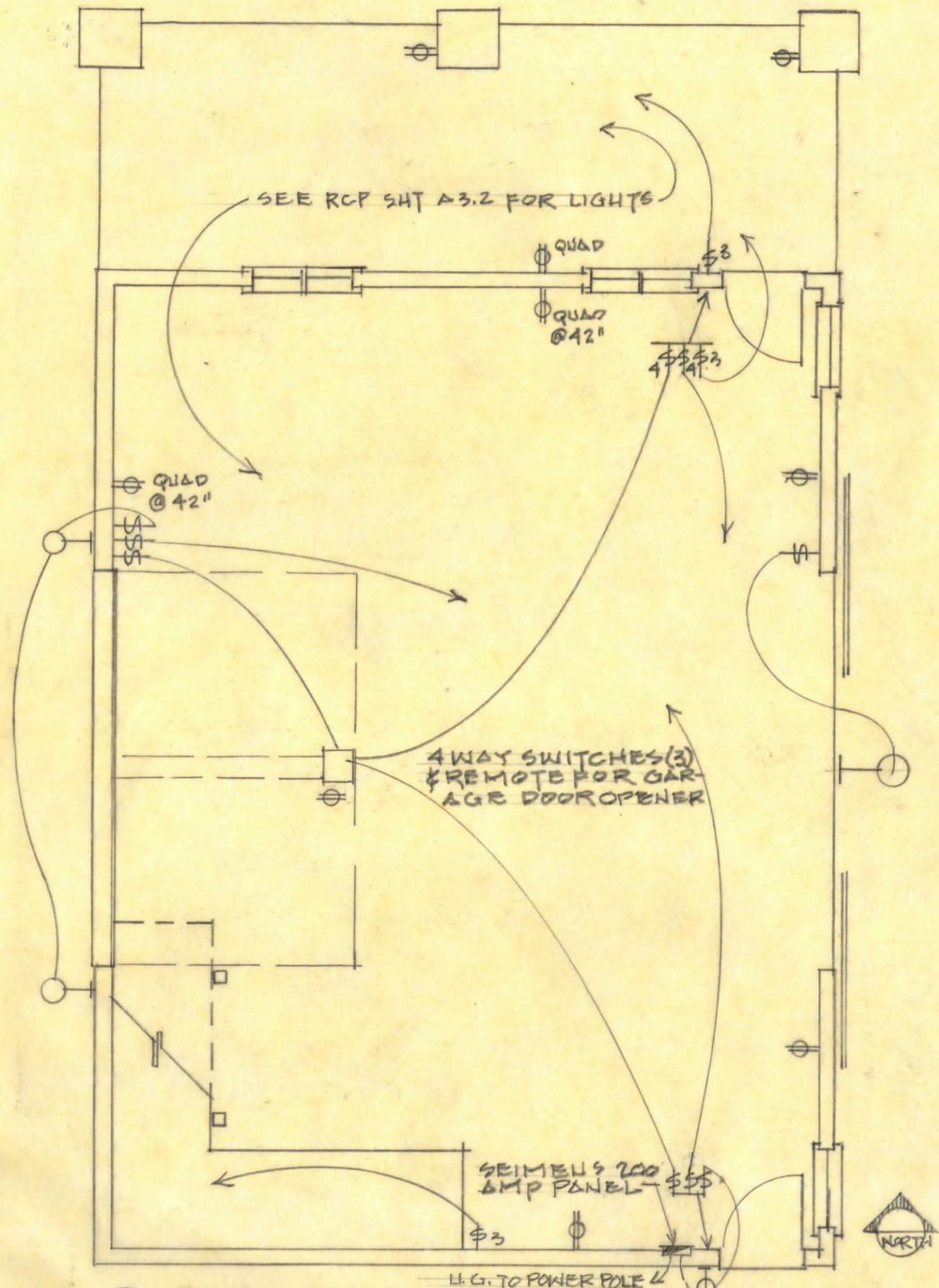
	SWITCH
	SWITCH WITH DIMMER
	3 WAY SWITCH
	SWITCH TO FAN
	DUPLEX OUTLET
	220 OUTLET
	DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTER
	TELEVISION CABLE
	WALL MOUNTED LIGHT FIXTURE (SCONCE)
	CEILING MOUNTED LIGHT FIXTURE (W - FOR WET AREAS)
	CEILING FAN W/ 4 FIXTURE LIGHT PACK
	4 OR 8 FLUORESCENT FIXTURE OR LED
	FLOOD LIGHT W/ MOTION SENSOR
	RECESSED DOWN LIGHT
	SMOKE / CARBON MONOXIDE DETECTOR
	PENDANT FIXTURE (D - DIMMER)
	EXHAUST FAN
	24" X 36" DISAPPEARING STAIR WITH ACCESS DOOR

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 LICENSE #AR0008314

**PAVILION - ELECTRICAL**  
**E.2**

9 29 21



- 1 BARN-ELECT-1ST FL  
E.3 3/16" = 1'-0"
- 2 BARN-ELECTRICAL-2ND FLOOR  
E.3 3/16" = 1'-0"

NOTE: ALL RECEPTACLES TO BE GFCI; ANY AT THE EXTERIOR, SHALL ALSO BE WEATHER PROOF

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BARN - 1ST & 2ND ELECTRICAL  
**E.3**

**Residential Optional Calculation**

9/25/1997

Version 2010 B1

Cascante Pavilion and Garage Expansion

RL Tech Solutions, LLC

413 Summit Ridge Place

Longwood, FL 32779

(321) 578-2007

10/25/2021 16:37

**STEP 1 Article 220.42 & 220.52**

sq. ft	1800	General Lighting load	5,400 VA
	3	Small Appliance	4,500 VA
	1	Laundry circuit	1,500 VA
		Gen.Lgt, Sm Appl. & Laun. Load	11,400 VA

**STEP 2 Article 220.50 & 220.51**

A/C #1	VA	AHU 1	Select	VA
A/C #2	VA	AHU 2	Select	VA
A/C #3	VA	AHU 3	Select	VA
A/C #4	VA	AHU 4	Select	VA
A/C #5	VA	AHU 5	Select	VA

General lighting, Sm. Appl. & Laundry 11,400 VA

Total Heat Load VA  
 Total CU Load VA  
 Central Electric Heat @ 65%, vs. A/C @ 100% VA

**STEP 3 Article 220.53**

4,500 VA	1	Water Heater	4,500 VA
1,400 VA	0	Refrigerator	VA
600 VA	0	Freezer	VA
1,030 VA	0	Dishwasher	VA
690 VA	0	Disposal	VA
400 VA	0	Trash Compactor	VA
1,630 VA	0	Microwave	VA
<input type="checkbox"/> 1,440 VA		Central Vac	VA
<input type="checkbox"/> 170 VA		Mini Refrigerator	VA
<input type="checkbox"/> 800 VA	0	Range hood	VA
<input type="checkbox"/> 480 VA		Hurricane Shutters	VA
1,500 VA		Ironing Center	VA
<input type="checkbox"/> select		Jacuzzi Tub	VA
<input type="checkbox"/> 1/2 hp		Sprinkler Pump	1,127 VA
<input type="checkbox"/> select		Well Pump	VA
select		Fountain Pump	VA
select		Elevator	VA
<input type="checkbox"/>		Pool Equip. Panel	8,382 VA Apply Demand VA No Demand VA No Demand

Appliance Demand Load 14,009 VA

Dryer Demand Load 5,000 VA

Range Demand Load 4,200 VA

Service Demand 19,844 VA

Demand Load 83 A

Neutral Demand 44 A

Min.Service Req. 100 A

Min. Feeder size 4

Min. Neutral size 6

Eq. Grding Cond. 8

Copper

Total Appliance Load 14,009 VA

**STEP 4 Article 220.54**

Electric Clothes Dryers 5,000 VA

**STEP 5 Article 220.55**

Electric Ranges	Col C demand	W
or Number of appliances	0	
<input type="checkbox"/> Check Box for Gas Range	Cooktop	1,800 W Col B demand
	Cooktop	Col B demand
	Oven(s)	2,400 W Col B demand
	Oven(s)	Col B demand
Number of appliances	Dem. Factor	
	Cooktop & Oven Demand Load	

jmp1ids@comcast.net

ROGER AND JUSTINE CASCANTE

NEW

KITCHEN PAVILION AND GARAGE

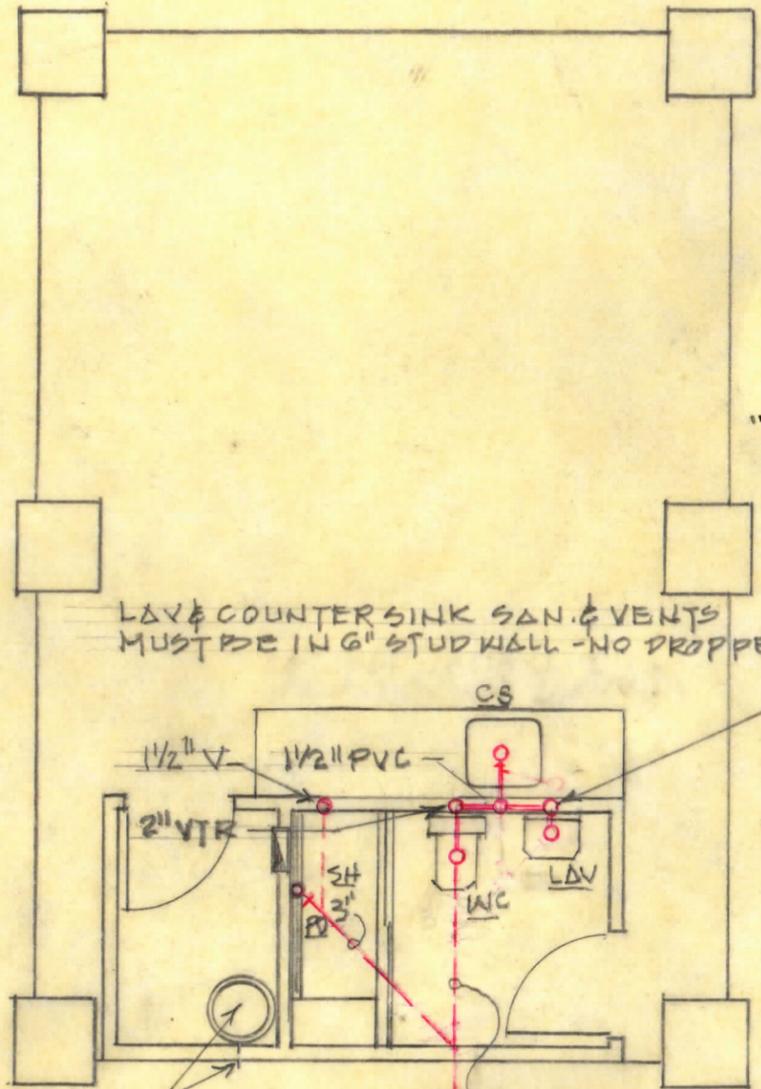
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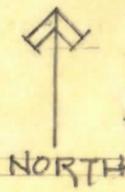
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ELECT. LOAD CALCS

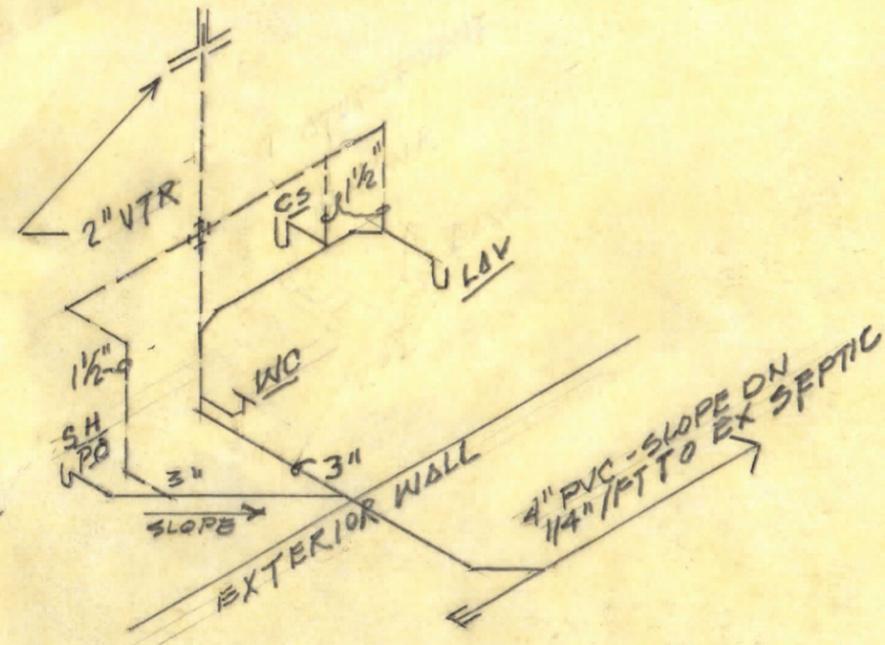
**E.4**



30 GAL, DOUBLE ELEMENT ELECT. WATER HEATER W/METAL PAN & OVERFLOW DRAIN PIPE TO EXTERIOR



1 SANITARY - PAVILION  
P.2 3/16" = 11'-0"



2 SANITARY RISER DIAGRAM  
P.2 NO SCALE

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PAVILION- PLUMBING  
**P.1**

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